



Local Active Modes Plan

Waitematā-west



07 February 2024



Agenda

- What we're proposing to do in this project
- Why we think it's beneficial
- How we're planning to do the work
- Questions / discussion



What we're proposing

- A map and plan of prioritised small scale low-cost low-risk walking and cycling opportunities in the study area. Informed by the Local Board and community.



Why we're doing this

- Improve our understanding of what should be done and **what can feasibly be done** over the next few years to improve the walkability and cycleability of the area.
- **Leverage ongoing and prior investment** by enhancing access, safety, legibility of cycling and walking networks in areas surrounding high use facilities and routes.
- Ensure we are well positioned to **respond quickly as opportunities emerge**. Ensure existing programmes (e.g. maintenance) at AT (and other agencies) are well equipped to deliver priority interventions where feasible.
- **Empower the Local Board** to shape minor improvements in their area.
- **Pilot the use** of Local Active Modes Plans and understand whether they are something we should be developing at a broader scale.



8,790
people

travel within the
study area for
their work /
education

6,876
people

travel from the
study area to
the city centre
for their work /
education

33% of study
area residents
walk to their
place of
education. The
Auckland wide
figure is 21%

residents of the
study area are
four times as
likely to cycle for
their journey to work
/ education than the
average Aucklander

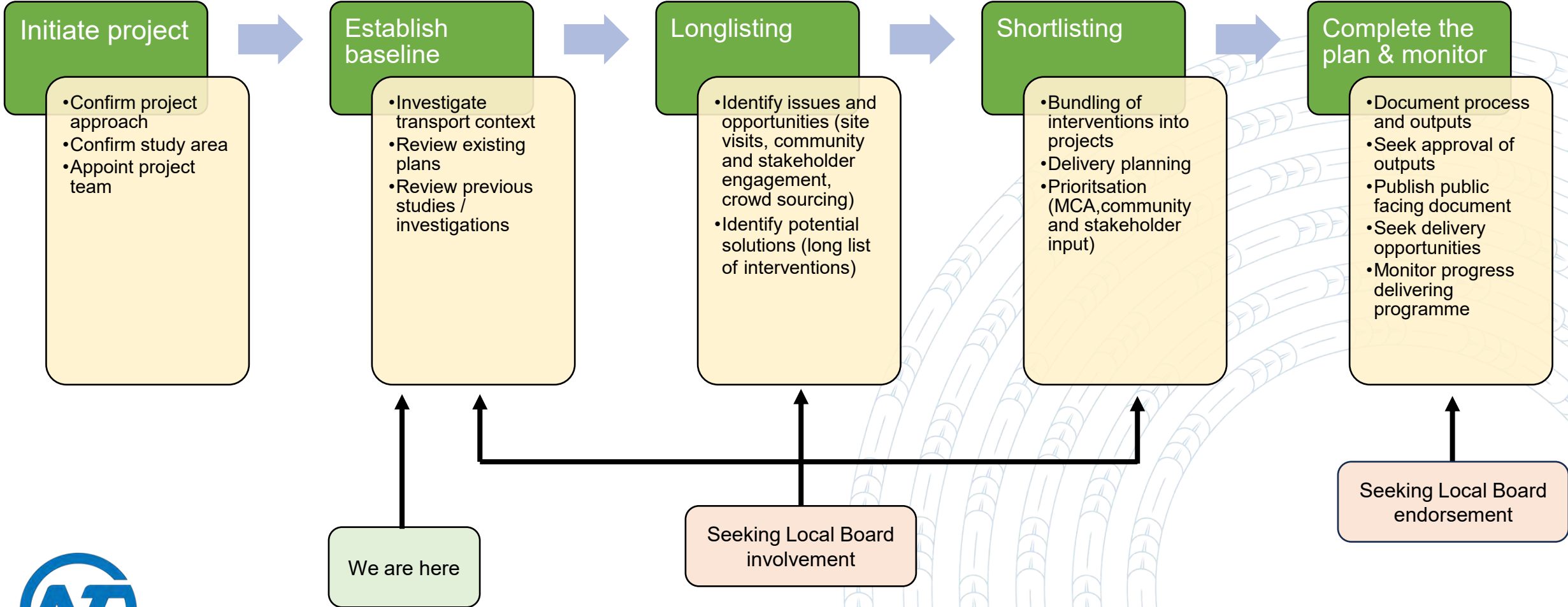


Source: Census 2018

How we're going to do it

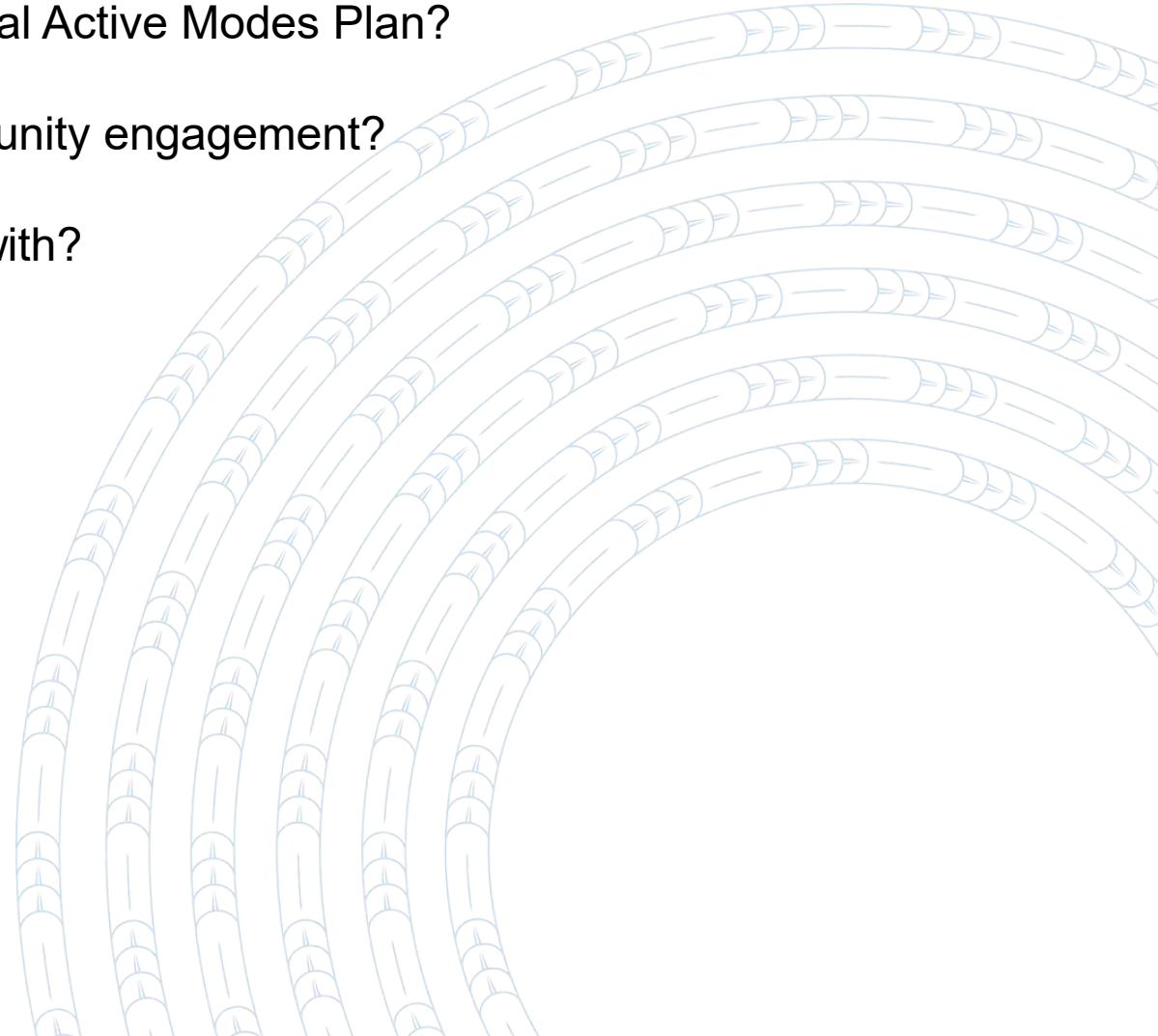
DEC '23

JUNE '24



Questions / discussion

- Are there any immediate concerns / red flags / risks we should be aware of?
- How would you like to be involved as we develop the Local Active Modes Plan?
- How do you think we could get the most out of our community engagement?
- Are there any key stakeholders that we need to engage with?



APPENDIX



Proposed Study Area



In-scope interventions and exclusions

In-scope:

Intervention	Cost	Risk
pop-up cycle lanes	medium	medium
painted cycle lanes	medium	medium
traffic calming (e.g. speed humps / cushions, road narrowing)	medium	medium
volume reduction devices (e.g. median barriers, modal filters such as diagonal diverters, half / full road closures)	medium	medium
structures for shelter / shade (e.g. for placemaking, bus shelters)	medium	medium
midblock crossings (e.g. signalised, zebra, refuge islands)	medium	low
lighting	medium	low
cctv	medium	low
footpath widening	medium	low
wheel chair ramps	medium	low
tree planting / landscaping	medium	low
remove footpath clutter	medium	low
bollards (exclude car parking & access from pedestrian areas)	low	medium
signage	low	low
path upgrades (e.g. in parks)	low	low
pram ramps	low	low
tactile paving	low	low
cycle parking	low	low
signal phasing tweaks	low	low
kerb ramps (enable bike access onto shared paths)	low	low
hand rails at intersections (for people on bikes)	low	low
way-finding	low	low
car wheel stops (address overhang from parked vehicles)	low	low
sharrows (road markings)	low	low
seating	low	low
drinking fountains	low	low



Out of scope:

- Interventions that will require high risk trade-offs e.g. modal filters that will displace large amounts of traffic, cycle lanes that will require significant parking removal
- Interventions that are above budget or have a high degree of cost uncertainty e.g. new major cycleways
- Interventions to solve non-active modes problems
- Interventions outside of the Waitemātā LB area
- Interventions outside of the project study area
- Non-infrastructure (CGIs) / OPEX type investment



Transport context (Census 2018)

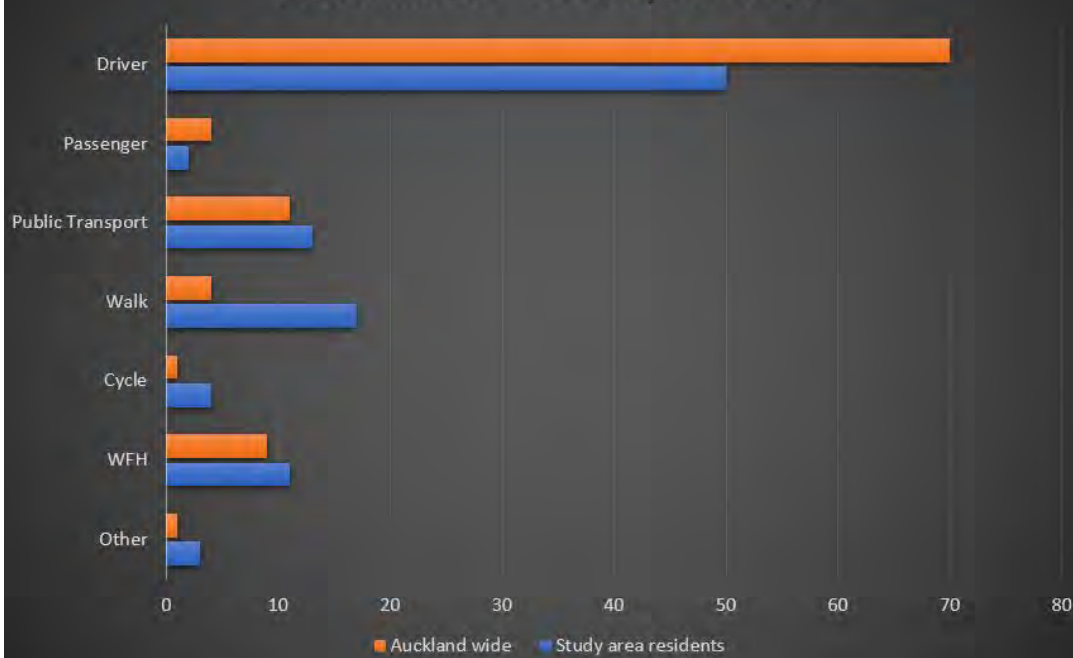
Travel patterns of study area residents

- There are 22,140 people who reside in the study area and are required to travel to a location to undertake their work or education.
- Of these, 40% of people (8,790 people) travel to a location within the study area.
- A further 31% (6,876 people) travel to a location within the city centre.
- The next most popular destination is Newmarket (2.75%).

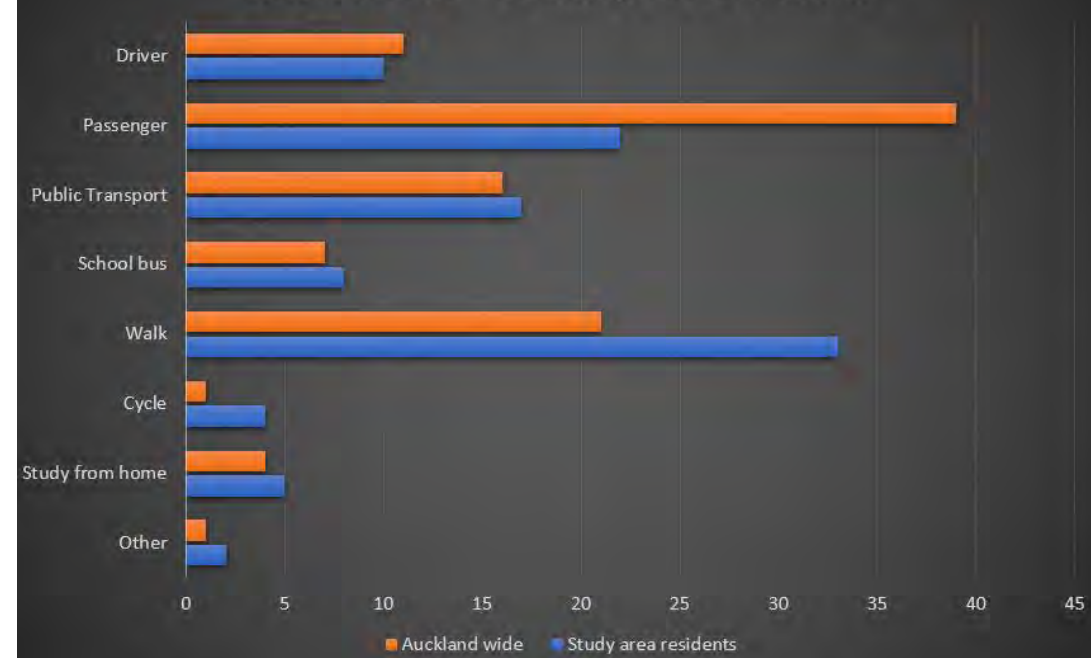
The study area as a destination for work / education

- 21,480 people travel and arrive at a location within the study area to undertake work / education.
- Of these, 41% of people (8,790 people) also came from a location within the study area.
- 59% of these people (12,690 people) travel to the study area from external locations.
- 11% of these people (2,409 people) travel to the study area from an immediately adjacent suburb.

Travel modes – Journeys to work



Travel modes – Journeys to education



Example:

- Refer to the [Waiheke Transport Plan](#) for an example of a similar project (although larger in scale and covering all transport modes)





Waitemata Local Board Road Safety Engineering Update



7th February 2024

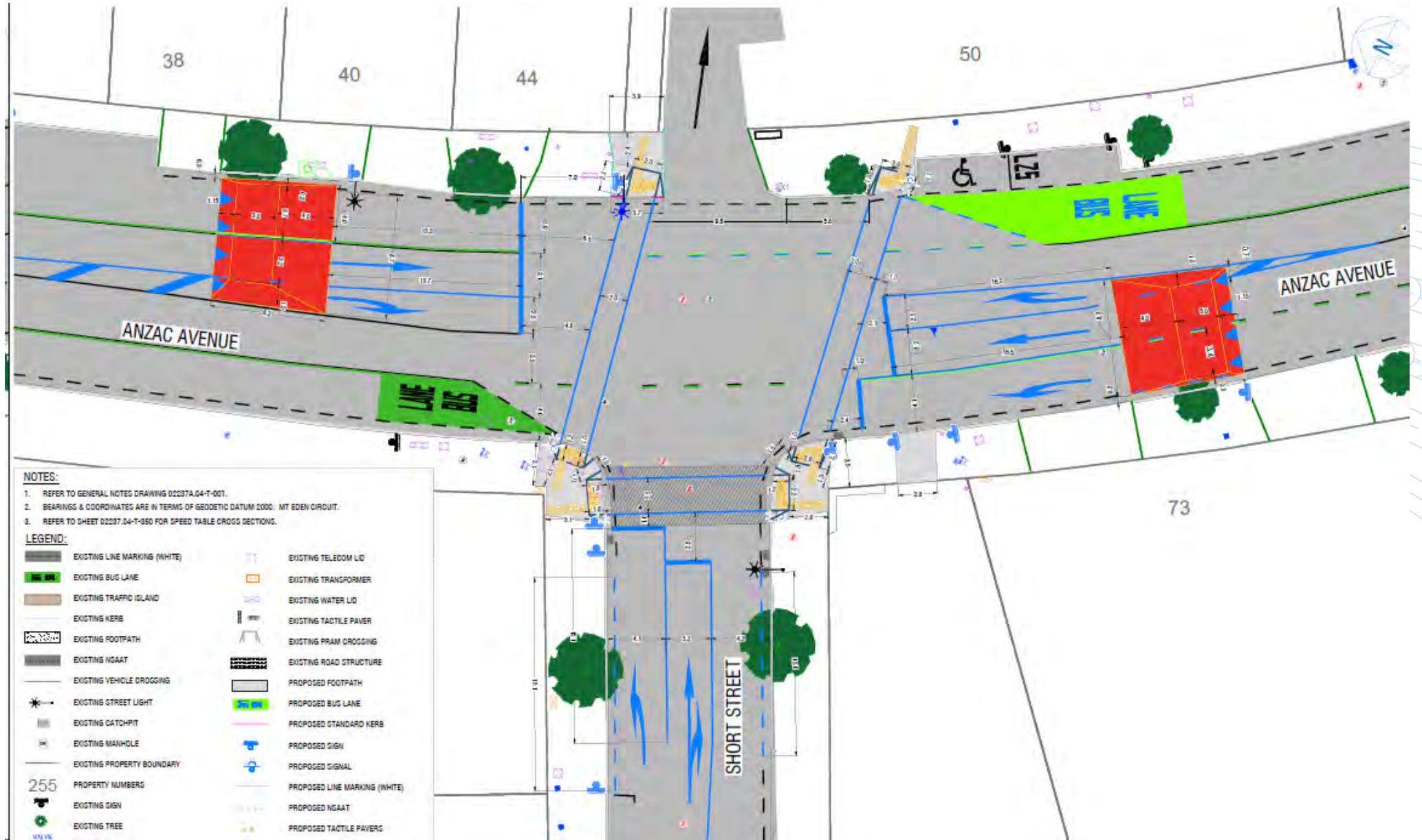


Current Projects – 2023/24

Location	Description/address	Construction Year (PCC issued)	Status
Anzac Street	Short Street	24/25	Design
Brighton Road	St Stephen Rd	24/25	Design
Brighton Road	Between Elam St and Shore Rd	24/25	Investigation
Ian McKinnon Drive	Piwakawaka St	24/25	Investigation
Khyber Pass Road/Symonds Street	Between Rd Symonds St - Arawa St	24/25	Investigation
Symonds Street	between Grafton Rd and K Road	24/25	Investigation
Newton Road	Bewteen Piwakawaka St and Cargill St	24/25	Investigation
Nelson/Hobson/Fanshawe	Nelson St, Hobson St, Fanshawe St	25/26	Investigation
Newmarket	Broadway	25/26	Working Group Set up to co-design project
Parnell	Parnell Road	25/26	Working Group Set up to co-design project



Anzac Avenue / Short Street



Projects to be Prioritised

Project Title	Reason why location has ben identified	Collective Risk	Personal Risk	ARU Risk
Garnet Rd Westmere School	<ul style="list-style-type: none"> This project is located outside Westmere School and the proposal would involve upgrading the existing zebra crossing, likely to a raised pedestrian crossing. There has been one reported crash during the last five years. 	Low	Medium	Medium
Great North Rd Grey Lynn School	<ul style="list-style-type: none"> This project is located outside No.652 Great North Road, where there is a nearby entrance to Grey Lynn School. The proposal would involve upgrading the existing signalised crossing, likley to a raised signalised crossing. There have been two reported crashes during the last five years. 	Medium	High	Medium High
College Hill St Mary's College	<ul style="list-style-type: none"> This project is located outside No.64 College Hill. The proposal would involve upgrading the existing signalised crossing, likley to a raised signalised crossing due to the crossing demand of school children and nearby bus stops. There have been three reported crashes during the last five years. 	Medium High	High	Medium High
Ponsonby Town Centre	<ul style="list-style-type: none"> Town Centre Project, possible extents between its intersections with College Hill and Great North Road. There have been 121 reported crashes, during the last five years, which has resulted in one fatal, 11 serious, 29 minor injuries and 80 non-injury crashes. Vulnerable road users were involved in one fatal, 10 serious, 23 minor and 8 non injury crashes. Working Group will need to be set up. 	High	Medium High	
Cook Street, between Nelson Street and Hobson Street	<ul style="list-style-type: none"> This project is located on Cook Street, mid-way between its intersection with Nelson Street and Hobson Street. The proposal is to improve pedestrian facilities. There have been four reported crashes during the last five years, of which three were non-injury and one was minor injury. One of the four crashes involved a vulnerable road user. The section of Cook Street is a multiple lane road with a wide road width. There are a few large apartment buildings, commercial buildings and shops. 	Medium	Medium	



Karangahape Road Business Association

Update for Waitemata Local Board March 2023



Context

KARANGAHAPE BID TURNOVER						
	2018	2019	2020	2021	2022	2023
Jan	\$12,787,177	\$12,361,844	\$11,456,933	\$10,650,529	\$10,398,872	\$10,325,499
Feb	\$13,901,095	\$13,847,023	\$13,694,630	\$9,844,452	\$9,911,496	\$11,265,758
Mar	\$15,675,429	\$15,514,237	\$10,613,859	\$10,958,704	\$11,045,181	\$13,437,770
Apr	\$13,889,515	\$13,355,670	\$1,832,715	\$12,538,561	\$12,929,986	\$12,943,521
May	\$14,864,190	\$15,797,447	\$7,361,431	\$14,064,478	\$12,281,839	\$13,449,944
Jun	\$14,252,662	\$14,295,358	\$11,015,410	\$13,044,116	\$12,487,502	\$12,972,390
Jul	\$14,703,813	\$14,021,927	\$12,569,468	\$14,850,039	\$12,619,138	\$13,487,786
Aug	\$15,678,891	\$15,478,305	\$7,011,358	\$8,261,568	\$12,094,787	\$13,175,535
Sep	\$14,838,364	\$13,990,324	\$10,205,944	\$2,777,982	\$11,959,926	\$12,989,638
Oct	\$14,778,967	\$13,883,621	\$12,195,546	\$4,991,856	\$12,279,054	\$12,857,534
Nov	\$15,889,016	\$14,446,627	\$12,147,115	\$6,759,538	\$12,332,281	\$13,162,874
Dec	\$15,927,740	\$13,870,568	\$13,568,777	\$11,999,223	\$13,101,896	\$13,628,436
AVG	\$14,765,572	\$14,238,579	\$10,306,099	\$10,061,754	\$11,953,497	\$12,808,057
vs previous		-4%	-28%	-2%	19%	7%
vs 2019	4%	0%	-28%	-29%	-16%	-10%

Slow recovery continues - good growth but still below pre-Pandemic levels (turnover 10%, pedestrian numbers 24%)

DESTINATION MARKETING

our main Destination Marketing campaign this year was ROAD by Karangahape, the creation, marketing and launch of a high-end fragrance that bottled the “smell of Karangahape Road.”

150 bottles of the bespoke fragrance were manufactured and sold in limited quantities at a time by Karangahape Road businesses.

Karangahape business owners and other community members featured as the models in the campaign.

Stockists were kept secret until they started selling the bottles. This emphasised local and gave the campaign a treasure-hunt aspect.

We were able to extend the story, celebrating local businesses in the staged reveal of stockists via the Karangahape Road Instagram, with the huge demand keeping the campaign featured in social media well beyond the initial launch.



By Karangahape Eau De Parfum



NOT AVAILABLE ONLINE
EXCLUSIVELY ON KARANGAHAPE ROAD
FIND OUT WHERE @KROADNZ

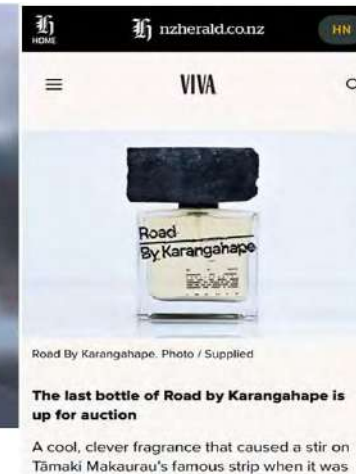
J&J De satuy

Première

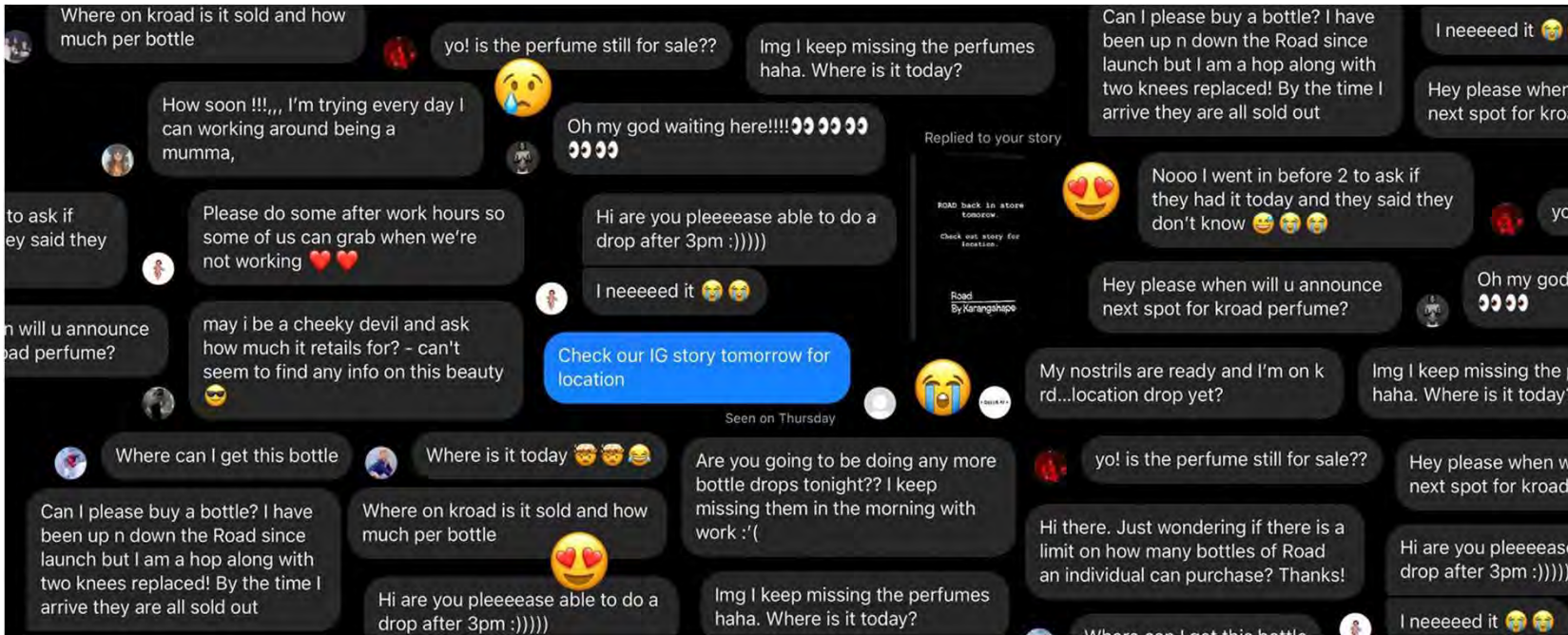
SOAVE,
SO'CRUPTING.

The campaign reached 17.4 million paid impressions (social media plus outdoor using billboards and street posters). Additionally an estimated \$1.5 million of earned/unpaid-for media was achieved including

- headline story on ONE News at 6pm.
- 12 media outlets reporting

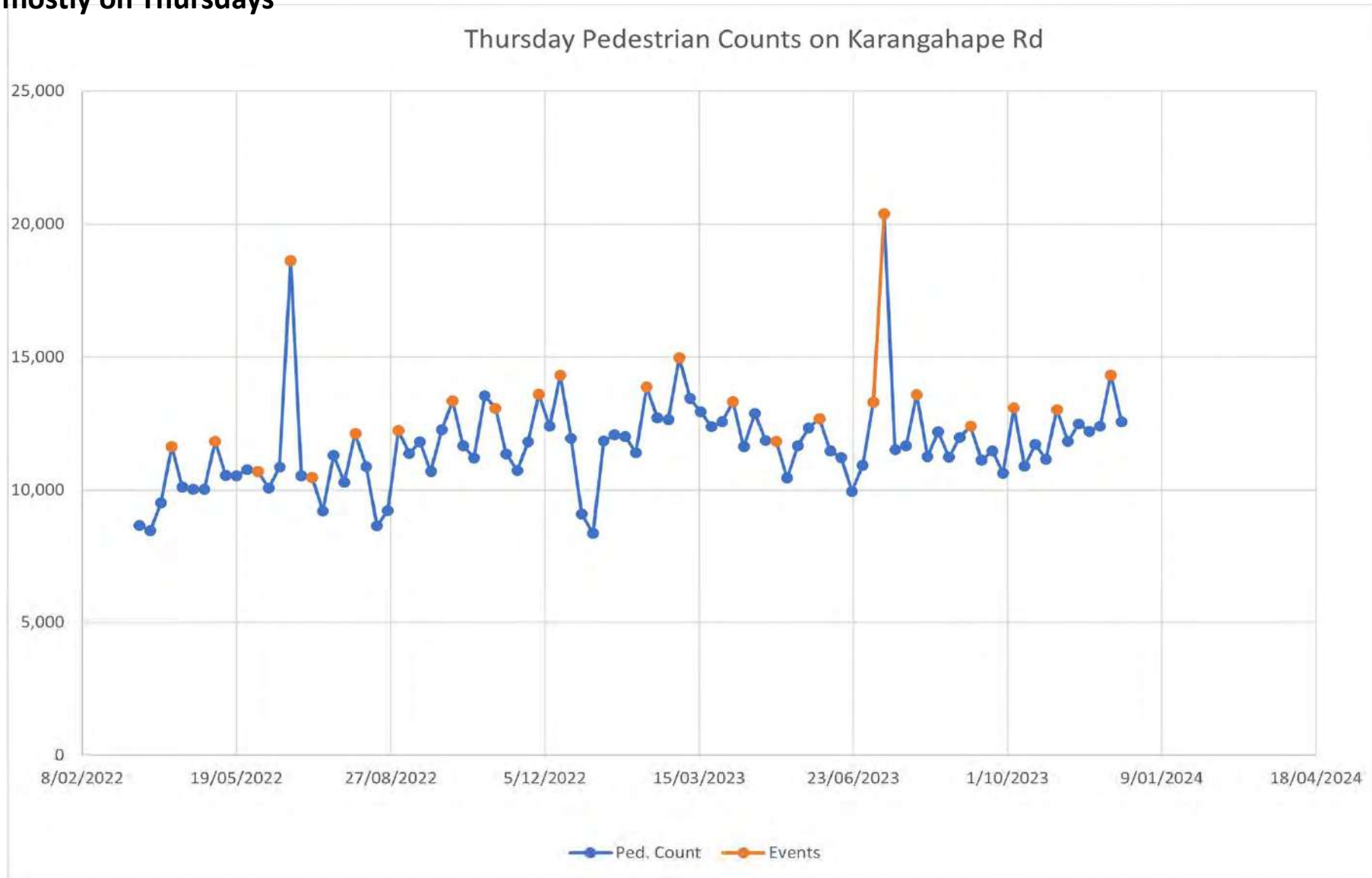


Social media response was strong



The perfume sold out within minutes of each of the 21 limited releases
 Sales raised \$13,697.00 for Lifewise Outreach
 (including the live & online auctions of the final two bottles which netted \$1,397).

Events, mostly on Thursdays



CELEBRATING MATARIKI ON KARANGAHAPE ROAD

TE KARANGA A HAPE

THURS 13TH JULY 2023 FROM 3PM

LIVE MUSIC
ART
FOOD
MARKETS
FASHION
PERFORMANCE

PATHWAY + OF + DIVERSITY
TE + ARA + MATARIKI

@kroadnz www.karangahaperoad.com

GET FREAKY THIS HALLOWEEN ON KARANGAHAPE ROAD...

FREAKOUT

SATURDAY 28 OCTOBER 2023

@kroadnz

www.karangahaperoad.com/halloween

ANTI-Valentines

ON

KARANGAHAPE ROAD

A CELEBRATION OF LOVE AND EVERYTHING MESSY ABOUT IT

TUES 21 FEB 2023

6PM TO 10PM

Karangahape Candidates Debate

Damian Symmonds OPPOSITION	Nathan Aspinall NATIONAL	Chloe Swarbrick GREEN	Neil Johnson NEW ZEALAND
Hannah Phillips NZ FIRST	Oscar Sims LABOUR	Felix Poole ACT	

WHAMMY BAR
Wednesday 13 September
6pm with panel discussion from 6:30pm
Free for all to attend

Hosted by Russell Brown

FIRST THURSDAYS ON K-ROAD

DOUBLE KIRIMETE SPECIAL

7th DECEMBER 2023

FROM 5PM

MARKETS | SMART FOOD | LIVE MUSIC | FASHION | DJs ENTERTAINMENT

@KROADNZ KARANGAHAPE ROAD

FIRST THURSDAYS

ON KARANGAHAPE ROAD

6 APRIL - FROM 5PM

MARKETS, LIVE MUSIC, DJs, ART, ENTERTAINMENT, FASHION AND FOOD

KARANGAHAPE ROAD.COM @KROADNZ

FIRST Thursdays

7 SEPTEMBER 2023

FROM 5PM

MARKETS | LIVE MUSIC | DJs, ART, FASHION, PAI, ENTERTAINMENT

@KROADNZ KARANGAHAPE ROAD.COM

FIRST THURSDAYS ON K-ROAD

2 March 2023 from 5pm

MARKETS | LIVE MUSIC | ART | FASHION | FOOD

FIRST THURSDAYS ON KARANGAHAPE ROAD

5 OCTOBER 2023 FROM 5PM

MARKETS / LIVE MUSIC / DJs / ART FASHION / FOOD / ENTERTAINMENT

@KROADNZ KARANGAHAPE ROAD.COM

FIRST Thursdays

1st June 2023

From 5pm @kroadnz

Markets, art, fashion, food, music & entertainment

TE KARANGA A HAPE

Celebrating Matariki

Thursday 13th July

Foot traffic up 80% , Daily Turnover up 54%

Attendance 12,600







GET FREAKY THIS HALLOWEEN ON KARANGAHAPE ROAD.

FREAKOUT

SATURDAY 28 OCTOBER 2023

www.karangahaperoad.com/halloween

@kroadnz

GET FREAKY THIS HALLOWEEN ON KARANGAHAPE ROAD.

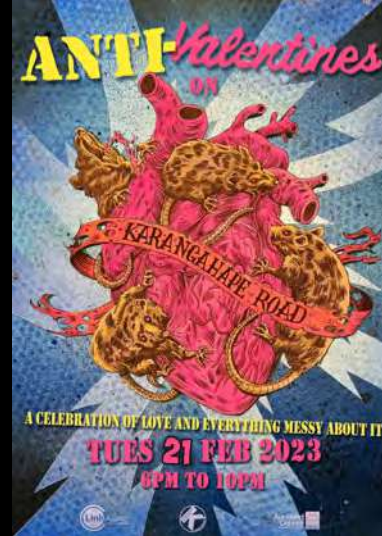
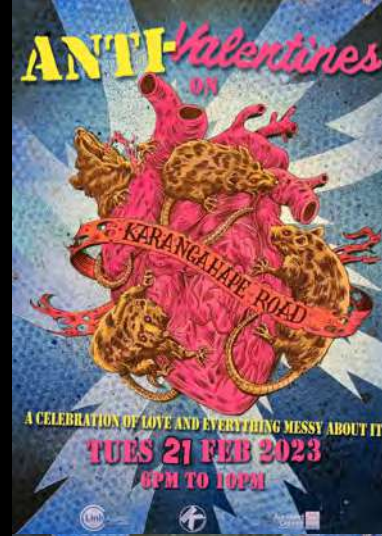
FREAKOUT

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@kroadnz

GET FREAKY THIS HALLOWEEN ON KARANGAHAPE ROAD.





COMMUNITY & SAFETY

Security remains the number one issue for businesses on Karangahape Rd, even more so than disruption or amenity.

The KBA received \$34,827 in welcome additional Local Crime funding from Council in June 2023. This enabled us to upweight our security for 38 weeks and we switched from a 5 to a 7 day a week timetable from 1 July. We reallocated funds to cover the remainder of this year and our AGM voted to increase the targeted rate for the coming year to cover that ongoing . This means our spend on security patrols is now 32% of targeted rate (up from 20%). There remains a need to increase patrol times further into the evenings.

One of the most successful community initiatives of the year was the Matariki Hot Boxxx arts hub run for the month of July as part of our Te Karanga A Hape celebrations. The focus of the hub was to celebrate Matariki, hosting local artists and workshops but we observed some things that worked extremely well to increase safety by reducing anti-social behaviours and increasing the sense of community.

What worked well:

1. The project was owned and led by Māori Artists and Community Builders
2. in a high profile, highly accessible central location
3. was welcoming; transparent & gaily lit, displaying and celebrating local art (mostly by Maori artists, but not exclusively)
4. well resourced enough to be manned by individuals with the skills to establish, communicate and elevate the mana of the

hub, as well as recognising and elevating the mana of the members of the public

The hub team had the energy, awareness and skills to engage with all comers and I saw them change the way many troubled / problematic / hoha individuals related to those around them. With Matariki celebrations on Karangahape set to be bigger again in 2024 there's a real opportunity to establish something along these lines with a longer duration and impact if funds could be made available.

NEWMARKET.



Annual BID
Presentation

to Waitematā
Local Board

TE TI TŪTAHI.

NEWMARKET.

New Zealand's retail, hospitality and entertainment mecca.



Update

1. Year to 30 June '23
2. Current Year: 1 July '23 – now
3. Future Outlook: 1 July '24 –
4. Q&A



Year to 30 June 2023

“Apart from the re-opening of Westfield Newmarket in 2019, we have had the highest number of new business openings on record in the year to 30 June 2023 – across retail and hospitality”.

\$840,200,000

Total annual spend in Newmarket to 30 June 2023 *according to MarketView Reports

\$70,016,667

Average monthly spend

+27.7%

YoY

\$2,301,918

Daily average spend



Positives

- NBA budget returned surplus of \$47k v budgeted loss of \$404
- Precinct performed well – total spend \$840.2M (+27.7% YOY)
- Launched Newmarket Security
- Some major new retail brand wins
- Hospitality sector showed good signs of recovery
- Labour issues eased
- Several historic record-breaking months of sales
- Development pipeline remains strong
- Return of NEWMARKET. Magazine in a new high-end format
- WLB ongoing support of *various projects.

Negatives

- Retail crime & violent crime remained problematic
- Frustration with some AT projects and lack of understanding on their impacts.
- Ongoing anti-social behaviour from emergency housing placements
- Auckland Anniversary day flooding
- Consumer confidence has taken a hit
- Youth related arson on major carpark causing millions of dollars of damage and disruption

Current Year



1 July '23 – now

NBA Team



Mark Knoff-Thomas
CEO
(1.0 FTE)



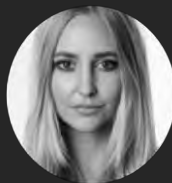
Current



Portia Campbell
Strategic Business
Manager
(0.4 FTE)



Kelly Fulford
Commercial
Manager
(0.8 FTE)



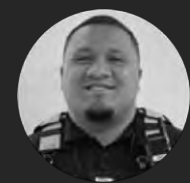
Francesca Ritchie
Marketing Manager
(1.0 FTE)



Lana Su
PA / Operations
Assistant
(0.6 FTE)



Brian McCarthy
CCTV Surveillance
Officer
(1.0 FTE)



Ray Siliko
Mobile Patrol Lead
(1.0 FTE)



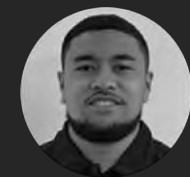
Maia Usherwood
Marketing Assistant
(1.0 FTE)



Shani Luckman
Graphic Designer
(0.6 FTE)



William Olaaiga
Mobile Patrol Officer
(1.0 FTE)



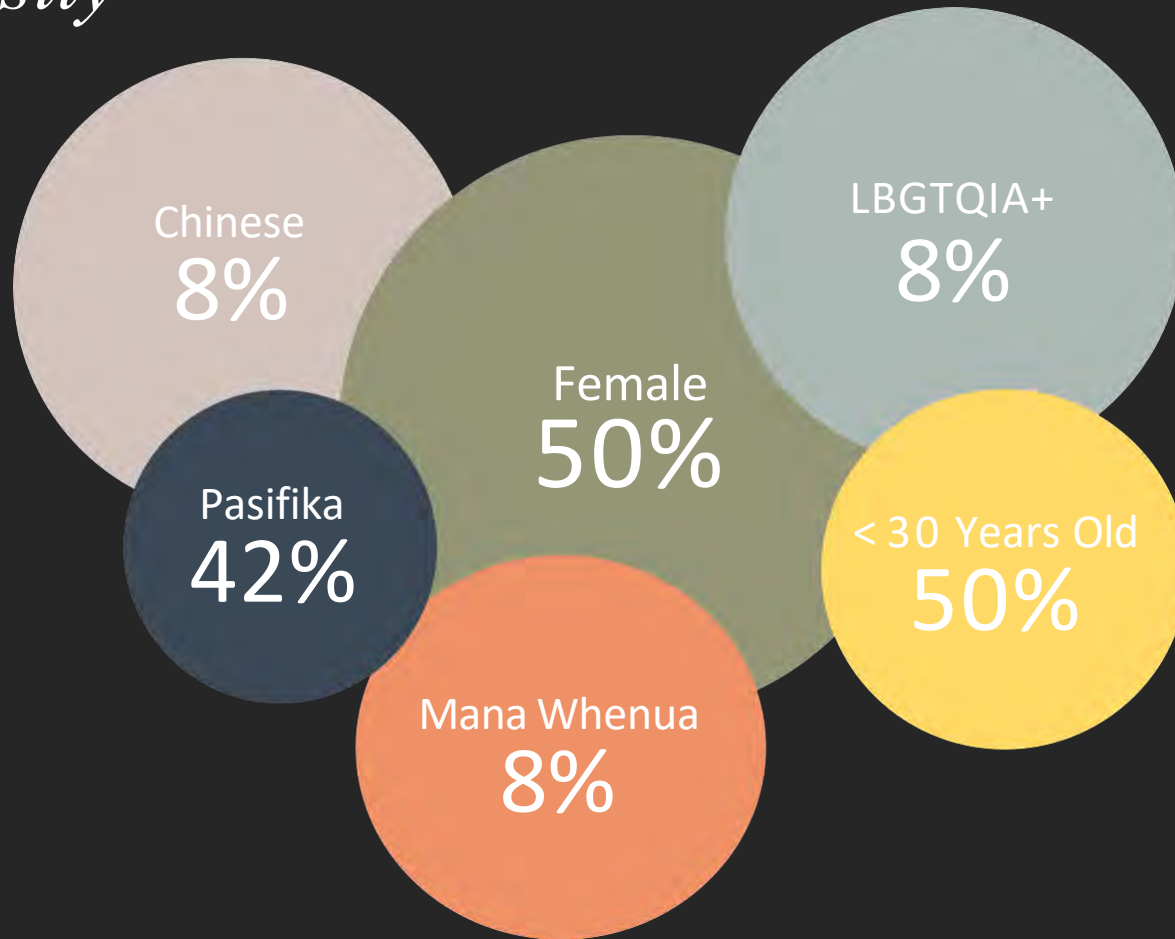
Lopeti Tulikihakau
Mobile Patrol Officer
(1.0 FTE)



Tyrone Uelese
Mobile Patrol Officer
(1.0 FTE)

10.4 FTE

Team: *Diversity*



NBA Board

Current



Mark Hill-Rennie
Senior Manager
ANZ Business
Chair



Carl Sowter
Director
Marley Loft
Treasurer



Kalpana Reddy
CEO
Chow:Hill Architects



Christina Yu
Managing Director
Chinese Herald



Matt Harray
Retail & Projects
Manager
Smith & Caughey's



Chris Dodds
Head of Asset MGMT
Masfen Group

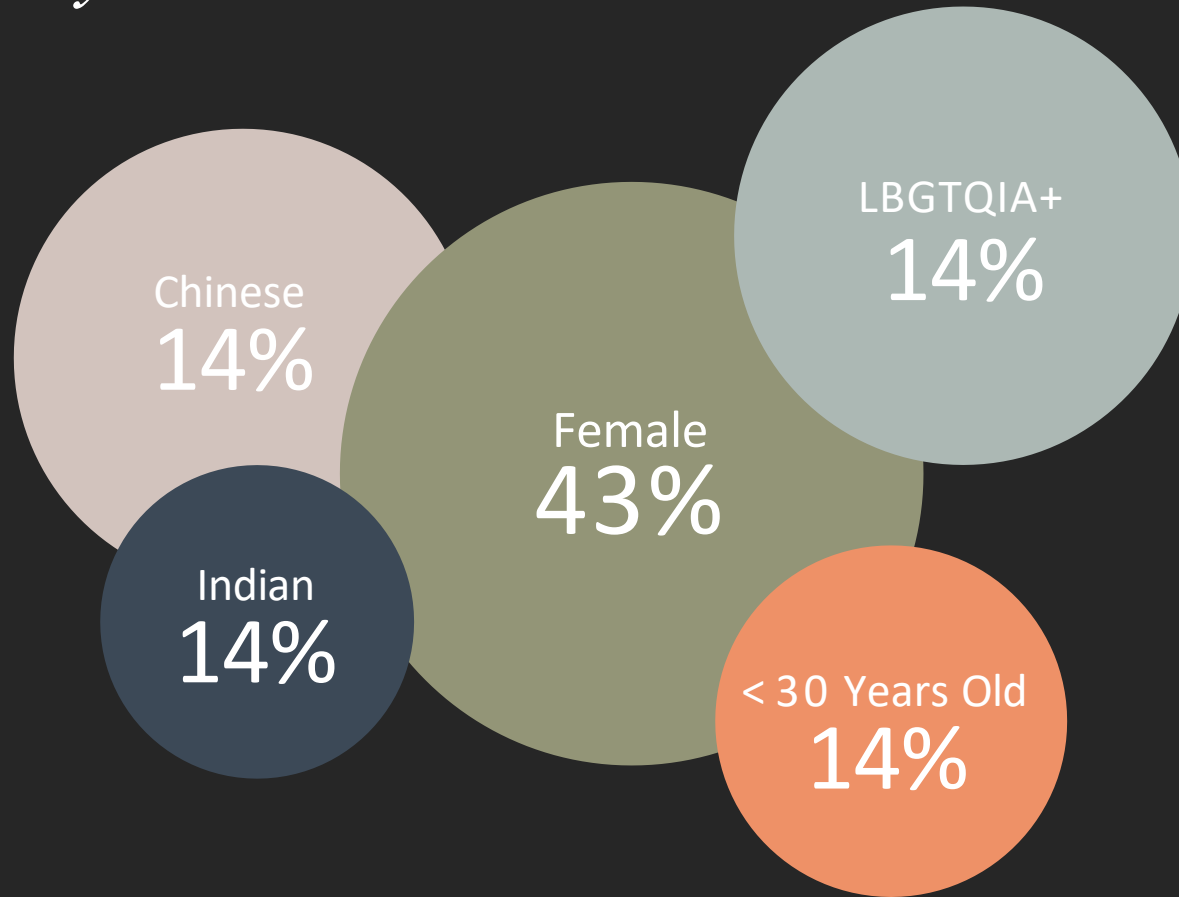


Genevieve Sage
Waitemata Local
Board



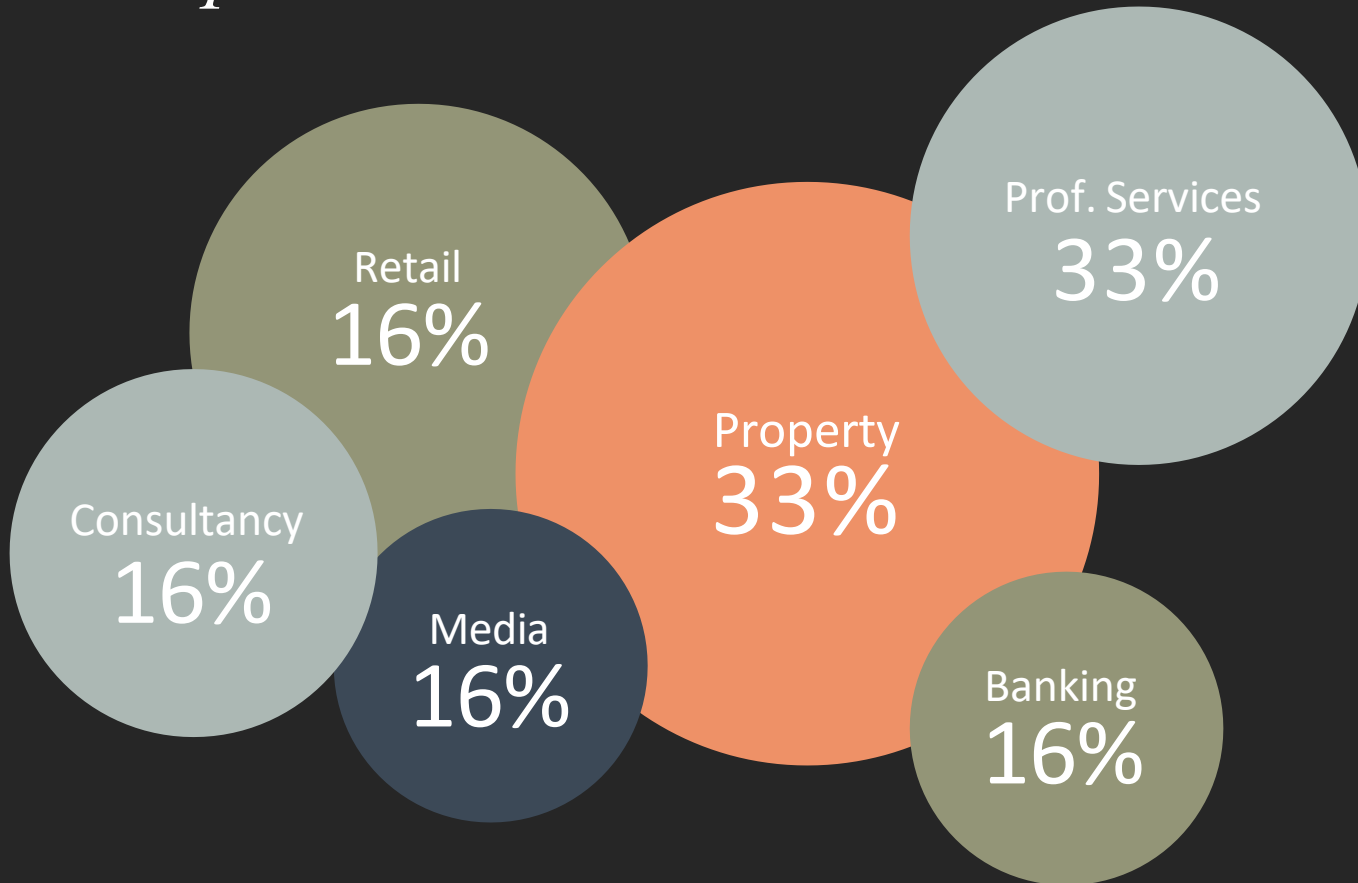
Anahera Rawiri
Waitemata Local
Board (Alternate)

Governance: *Diversity*



Governance:

Sector Representation





Positives

- Precinct performing solidly Jul '23 to now \$411.1M YTD
- Current trajectory edging towards annual consumer spend of \$900M
- Retail leasing activity on Broadway highest levels for 5 years
- Newmarket Security has been a raging success.
- Launched the first of Newmarket's heritage sign trail on Morrow Street
- Installed youth targeted play graphics in Station Square
- Multi-stakeholder collaboration on our Youth Strategy delivering great results
- Hosting Sunday Sounds outdoor music activation on Lumsden Green.

Future Outlook



1 July '24 – onwards

2024 - 2025 Budget:

Income

- BID levy 2024-2025	\$2,006,809	(* 3.5% levy increase \$67,863)
- Commercial income	\$387,000	
- Total income	<u>\$2,393,809.00</u>	

Expenses

- OPEX	\$952k	
- Security	\$568k	
- Advertising & Promotion	\$731k	
- Business Development	\$83k	
- Urban Design & Heritage	\$55k	
- Total Expenses	<u>\$2,390,830.00</u>	

SURPLUS/ DEFICIT **\$2,979.00**

How Waitematā LB Can Help

Advocacy and Support of:

- Kingdon Street Railway Crossing
- Northern accessway to Newmarket Station
- Youth Facilities – pump track/ Dilworth land?
- Streetscape upgrades of Kent & York Streets + Bourke St retail transformation
- Parnell cycleway through dis-used railway tunnel

Acknowledgements

We are incredibly grateful for your support of:

- Station Square activation (decals for children's games)
 - Significant usage by local young residents
- Newmarket Heritage Sign Trail
 - Second sign under development
- Youth Activation
 - Your advocacy and assistance is greatly appreciated. We are getting traction
- Sunday Sounds (outdoor live music on Lumsden Green in Feb)
 - Scheduled for 4th, 11th & 18th February
- Italian Festival
 - Currently planning underway (Likely to be February 2025)



Spend an evening Newmarket...

First-class restaurants, cafés and entertainment



NEWMARKET.

NEWMARKET BUSINESS ASSOCIATION

@newmarketnz
newmarket.co.nz



PONSONBY

BUSINESS ASSOCIATION

Waitemata Local Board Report – February 2024

TOTAL SALES \$318 MILLION.
TOTAL TRANSACTIONS 5.9 MILLION.

♥ We know 2023 has been challenging for several reasons and it's heartening to report that sales for the year July 2022 to June 2023, as reported by MarketView, grew by \$2 million to end the year at a total of \$318 million.

This figure represents a total of 5.9 million transactions and our customers spent an average of \$54.30 last year.

We saw an increase of 29% in sales for the 12 months post Covid lockdown and restrictions.

We continue to welcome our locals and visitors to Ponsonby and transactions continue to grow month on month.

It is, however, when we look at our average transactional value, we see the impact of 'cost of living'.

It has fallen from \$55 to \$52 in the last 12 months - that's approximately 6% or in line with inflation.

Trading patterns have varied across sectors with our hospitality category increasing by 5% in the last 12 months whilst our fashion retail sector has decreased by 1.8%.

RETAIL VACANCY RATES

♥ Ponsonby remains a desirable place to be and we've welcomed several new venues, stores, and businesses to the street in the last year.

The Colliers Retail Vacancy Rates from December 2022 show that our district has the lowest retail vacancy level in Central Auckland at just under 2%.

To give you context, Parnell retail vacancy was 7%, Newmarket 21.1% and the CBD ranged from 5.5% in the downtown precinct to 17.8% near Aotea Square.

NEW COMMERCIAL & RESIDENTIAL DEVELOPMENTS

♥ **Ponsonby is unique in that it's a true 'Urban Village' and watching new developments, both commercial and residential start or reach completion along the street is always exciting.**

There have been several developments along the road this year including:

The Samson Corporation renovation on the corner of Crummer Road, Manson's Building at the top of Franklin Road, Ken Crossan's new building at 223 and the soon to be started Urban Collective development on the corner of Pompallier in Three Lamps.

All these developments add both commercially and residentially to our district, and we value them enormously.

The restoration St John's church to her former glory and The Greenhouse by Ockham on Williamson Ave are definitely assets to our community that we will cherish for years to come.

HELLO'S & FAREWELLS & HELLO AGAIN

♥ **Our district has remained a popular one and we've welcomed several new retail offers, bars, restaurants aswell as new businesses this year.**

From award winning Agency, Special, the first NZ store for Nudie jeans, delicious sushi at Gurume, treats at Manis and pizza at Calimero and Pizza Monkey to new Designers like Tuesday and Bronwyn shoes.

We've said farewell to Grace Lang, Icebreaker, Oscar Wylie and one of our favourite cocktail bars, Clipper. And we've welcomed back Sid and Chand at Kol, Luke from Objectroom and Deb and her team at Storm.

CRIME

♥ **I have no doubt that every report at every BID presentation this year includes this topic.**

The 'rise in crime' narrative has been widely adopted by mainstream media and was a highly politicised election issue.

We ran an overnight security patrol trial between June 2022 and March 2023 to assess whether this would prevent crimes such as break ins and ram raids along the street.

This initiative cost us \$80 000 which is over 10% of our total operating budget and although we can assume it had some deterrent value, we can't accurately deduce how many crimes it prevented.

One patrol car covering the full 1.6 km length of our street is not enough.

It also did not cover daylight trading hours where we have seen an upturn in shoplifting and anti-social behaviour.

The Board has therefore decided to implement a 3-year project to install CCTV cameras along Ponsonby Road.

PBA – SCOPE OF WORK

♥ **Ponsonby returns over \$ 300 million to the Auckland economy and we achieve this with a grant of just ¾ of a million dollars – not a bad return on investment!**

Administration. Compliance. Engagement. Advocacy. Financial Management. Marketing.

I've always said that managing a Business Association is like 'building a plane while flying it' and it's been my pleasure to fly & build the Love Ponsonby plane again this year.

We operate our financial model differently from other BIDS in that we keep our opex costs to less than 30%. This enables us to use 70% of our grant to achieve our objectives of growing sales, placemaking or crime prevention.

As such, there is a team of one full time staff member at the PBA and I rely heavily on a small, dedicated team of contractors, designers etc.

We have over 450 members.

The full scope of work is detailed on our website and includes:

- General association admin duties including making sure we remain compliant in all aspects of our Council and Companies Office obligations.
- Working on the various Council or Government consultation and submissions like the Auckland Council Budget, Auckland Transport Parking strategy etc to make sure our 'voice' is considered in their final decision.
- Engaging with our local Waitemata Local Board, our Electoral MP, Auckland Transport, Auckland Council etc to understand their plans and objectives and make sure they align with our goals and constantly advocating for our hood.
- Financial Management to make sure that we remain solvent, stay within our budget, and pass our annual audit.
- Marketing and advertising of events etc to promote our district, elevate our brand and engage with our community.

PROMOTIONS IN 2023

♥ Annual Events

Eat Drink Love Ponsonby is our annual restaurant and bar festival that we developed and have grown from 2019.

Held in May every year, this event has grown from strength to strength and returned over \$1 million additional sales again this year.

We have started our planning for 2024 with several additions to make sure we remain relevant and create excitement to drive even more success next May.

♥ Market Days

Ponsonby Market Days are a Ponsonby institution.

I'm told they started with a group of retailers at the top of Franklin Road in the 90s even before our BID was formed.

Covid has seen a change in retail behaviour, stock & labour shortages, and pressure on our retailers.

The result is that fewer of our members are participating in Market Day and our customers and some retailers have commented.

Those who put out tables, do activations and promote the event all report 'best Saturday sales' and it was gratifying to see long lines of people waiting for World to open their store last Market Day.

In May we invited the General Collective – a group of independent market stalls - to set up in the space opposite Prego to try and reinvigorate our event. It was well received by our community, and we've invited them back for Christmas Market Day.

♥ Collaborations

The Board's direction on collaborations has shifted over the years and saw us move away from some partnerships between 2018 – 2021.

Currently, the Board's view is to actively progress certain key collaborations.

One of these is The Farmers Santa Parade and Simon Bridges, the Trust's chair mentioned that earlier this year. We have spent a lot of time scoping the feasibility for such a large Parade and tabled our proposal to the Trust Board.

One collaboration that is dear to our hearts and part of our DNA, is an annual event that celebrates inclusivity, diversity and connection. We're very proud to be a part of the Auckland Rainbow Pride Parade every year.

Although we don't contribute financially to the actual Parade, the PBA does fund some of the pre parade entertainment.

We hosted a sold-out group show at NZ Fashion Weekend again this year where 4 of our designers showcased their latest ranges promoting themselves and Ponsonby as a destination for fashion retail and we organised a program at the Auckland Heritage Festival showcasing our diverse cultural heritage that makes up our vibrant district. Over 600 people attended our 10 events over the 2-week festival.

We collaborated with the K’Road Business Association in November to showcase the exciting Art Galleries in both Ponsonby and K’Road.

WORK IN PROGRESS

Eat Drink Love Ponsonby 2024

We have already started planning for Eat Drink Love Ponsonby 2024.

Future Ponsonby research project

The Future Ponsonby Project was presented and discussed at the 2022 AGM with a view to presenting findings last year.

Unfortunately, the planned data collection and research program experienced some major setbacks with the Board deciding to secure a new partner for the project.

This has been done and we have hired Stuart Houghton from Boffa Miskell to complete this very important body of work.

The project will restart in Q4 2023 with a view to presenting findings at member meetings from the start of 2024.

Work on developing a plan for the future of Ponsonby will be a key focus in the coming year. The project will involve both qualitative and quantitative research and there will be quarterly sessions to share results and learnings with you all. Research results will also be posted on our website as they are completed.

Love Ponsonby Strategic Plan 2024–2028

The data collected from the Future Ponsonby research will be used to inform our new Strategic Plan to ensure close alignment.

The Board sees this plan as an evolution of our current strategic path that is underpinned by quantifiable data. It will futureproof Ponsonby for years to come.

The Board’s direction is to ensure the plan is:

- An evolution of our current strategic path.
- Underpinned by quantifiable data.
- To futureproof Ponsonby for years to come.

 **Security / CCTV Network project**

The PBA Board passed a resolution to implement CCTV Cameras and CPTED measures along the length of Ponsonby Road over a 3-year period i.e. 2024 – 2026.

The Ponsonby Business Association appreciates the \$9 413 received from the Local Crime Prevention Fund in June 2023.

This Funding Grant will be used to fund additional initiatives over & above what we had planned. It will be allocated towards implementing new CPTED and active prevention measures to create a safer environment for our businesses and community.

In 2022/3 the PBA ran an 8-month trial with overnight Security Guard patrols along the street. Results were inconclusive as we could not measure exactly how many crimes were stopped due to their presence. Furthermore, criminal activity did take place along the street during that time due to the fact our street is long, and one patrol car cannot be in all places at all times.

It was therefore decided to investigate a range of CPTED measures such as lighting of our 'hot spots' and a monitored CCTV surveillance system. High resolution cameras identify offenders after a crime has been committed. They become a crime prevention tool if supported by an effective response from a security officer or custodian.

In order to progress this project, a full report from Safer Cities has been commissioned.

The report will recommend a diverse range of solutions. It will identify the 'hot spots' and recommend best practice solutions. The grant will be allocated towards implementing some of these recommendations.

This will be completed by March 2024.



OUR KEY PRIORITIES FOR 2024

To continue to grow and develop Eat Drink Love Ponsonby (restaurant festival) in 2024 and to bring back the 'Long Lunch' in May 2025.

To secure a major Parade, Exhibition or Concert Series in Ponsonby by the end of 2025.

To complete the Future Ponsonby Project by the end of 2025.

To develop a 3-year plan to install a CCTV camera network along Ponsonby Road.

PONSONBY

BUSINESS ASSOCIATION

Waitematā Local Board Report 2024

Viv Rosenberg

Love  **PONSONBY**



PONSONBY

BUSINESS ASSOCIATION

Waitematā Local Board Report 2024

PONSONBY is Auckland's always-on mixing pot of cheap eats, posh nosh, in-your-face art, world-class shopping and innovative business that famously banded together to ban the Golden Arches.

We're Auckland's urban village, where Chilli the Pomeranian turns looks, haute couture turns heads, and over a hundred bars, restaurants and cafés turn tables to create the kaleidoscopic heart of Tāmaki Makaurau.

Eat drink shop repeat – that's why We ♥ Ponsonby.

PONSONBY

BUSINESS ASSOCIATION

Waitematā Local Board Report 2024

- ♥ Total sales \$318 million
- ♥ Total transactions 5.9 million
- ♥ Trading patterns varied across sectors
- ♥ Hello's Farewells & Hello Agains
- ♥ Retail and Commercial Development in and around our hood

PONSONBY

BUSINESS ASSOCIATION

Waitematā Local Board Report 2024

PBA Office – Scope of Work

- ♥ Administration
- ♥ Compliance
- ♥ Engagement
- ♥ Advocacy
- ♥ Financial Management
- ♥ Marketing

PONSONBY

BUSINESS ASSOCIATION

Waitematā Local Board Report 2024

2023 Marketing Calendar

- ♥ Annual Events
- ♥ Market Days
- ♥ Collaborations
- ♥ NZ Fashion Weekend
- ♥ Auckland Heritage Festival

PONSONBY

BUSINESS ASSOCIATION

Waitematā Local Board Report 2024

Work in Progress

- ♥ Eat Drink Love Ponsonby 2024
- ♥ Future Ponsonby research project
- ♥ Love Ponsonby Strategic Plan 2024–2028
- ♥ Security / CCTV Network project

Our Key Priorities for 2024

- ♥ Grow and develop Eat Drink Love Ponsonby.
- ♥ Bring back the 'Long Lunch' in May 2025.
- ♥ Secure a major Parade, Exhibition or Concert Series in Ponsonby by the end of 2025.
- ♥ Complete the Future Ponsonby Project by 2025.
- ♥ Develop a 3-year plan to install a CCTV camera network along Ponsonby Road.

PONSONBY

BUSINESS ASSOCIATION

Thanks



Memorandum

7 February 2024

To: Waitemātā Local Board

Subject: 254 Ponsonby Road - Develop Civic Space – Detailed design

From: Bill Jackson, Senior Project Manager, Parks and Community Facilities

Contact information: bill.jackson@aucklandcouncil.govt.nz

Purpose

1. To provide the Waitemātā Local Board with the detailed design for 254 Ponsonby Road - Develop Civic Space and seek feedback ahead of the business meeting on 20 February 2024. |

Summary

2. The Waitemātā Local Board approved the preliminary design at their 17 October 2023 business meeting (resolution WTM/2023/74).
3. The enabling works (site establishment, asbestos removal and de-construction) has closed.
4. The resource consent has been lodged.
5. The detailed design is now 70 per cent complete.
6. Co-design has continued with mana whenua.
7. The cost estimate has been updated.

Context

8. This project comprises deconstruction of the existing liquor store at 254 Ponsonby Rd and construction of a new civic space. It will include multiple spaces, each with distinctive character, to support a wide range of community activities.
9. The project has been divided into two stages to allow work to begin on site earlier and to minimise escalation costs:
 - Stage 1 - the enabling works
 - Stage 2 - the construction of the civic space.
10. At the Waitemātā Local Board workshop on 5 December 2023, staff gave an update on the progress of detailed design.
11. The project was over budget and items were discussed for possible cost savings. Staff were to evaluate these options with the designer and select items to achieve the best outcome for the project within the budget.
12. Elected members requested that staff report back with the final scope included in the detailed design to remain on budget.
13. Refer to **Appendix A** for details of items raised and staff advice following the Waitemātā Local Board workshop on 5 December 2023

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14. The resource consent has been lodged.
15. The designer, LandLAB, and Auckland Council staff have considered the feedback from local board members in completing the detailed design. Detailed design is now 70 per cent complete (Refer to **Appendix B - Detailed design**).
16. LandLAB, in collaboration with our mana whenua designer, has continued work on opportunities for cultural recognition, such as incorporating the Māori history of the area into the design, and a vertical marker public artwork.
17. The quantity surveyor has updated the estimate of costs. (Refer **Appendix C – Estimate**)

Discussion

Resource consent

18. In the Resource Consent application, staff indicated how the adjacent O'Neill Street would be treated. Some loading zone spaces are provided to support the use of the site. An accessible car parking space is included.
19. Staff have indicated that Auckland Council will provide a new solid timber fence to the adjoining residential properties.
20. A list of potential site uses was required to inform the assessment of effects. Staff have compiled a list based on the purposes of the civic space and input from stake holders

Design development

21. The western area of the site includes:
 - three raised planter beds, which may be community gardens.
 - a direct accessible path from the street to the ramp.
 - a grassed area.
 - access to the Vector transformer.
22. The 'urban canopy' design includes:
 - the floor is raised 2 steps to level up the area and to demarcate the space.
 - there is an accessible ramp at one end and steps at both ends
 - the surface is NZFSC certified hardwood decking
23. The toilet block which was removed for the Bledisloe Station development will be re-used at 254 Ponsonby Rd. It will be refurbished. This is a sustainable solution and saves on cost.
24. To support a range of uses on the site, a store cupboard has been added. This will be behind the toilet block, which is central. This is in addition to the utility service cupboard.
25. Solar PV panels are included on the roof of the canopy. These are funded by Auckland Council's 'Giga Watt fund'.
26. The O'Neill St works have been included in the project and will delivered by Auckland Council.

Estimate and funding update

27. The Waitemata Local Board has allocated \$357,000 from the Local Board Transport Capital Fund 2022-2025 to the safety improvements on O'Neill St. The pipeline allocated funding is \$5,581,000. The total forward budget is \$5,938,000.

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28. The quantity surveyor has updated the estimate based on the detailed design. This includes cost savings from:

- Re-used toilet block.
- Timber wall cladding to the northern wall deleted.
- Skylights in the canopy deleted.
- Metal canopy roof, not membrane.
- Pergola to north wall is scaled back.
- Reduced upstand planters and tubs.
- Tendered costs for the enabling works

Table 1: Estimate update including cost savings (Refer to Appendix C)

Stage 1 - Enabling works (Tendered costs)		Cost \$
1	Asbestos removal	20,000
2	Deconstruction	330,000
3	Traffic management	20,000
4	Stage 1 Project contingency (15%)	56,000
Stage 1 Total		\$ 426,000
Stage 2 – Construction works		Cost \$
5	Further de-construction and site stripping	119,000
6	Green discovery room & Urban Plaza (Eastern area)	1,219,000
7	Hybrid space (Western area)	814,000
8	Public toilets and storeroom	244,000
9	Urban canopy	1,137,000
10	Traffic management	94,000
11	Water retention & harvesting system	48,000
12	Design, operational costs & consenting.	781,394
13	Stage 2 Project contingency (15%)	552,000
14	Escalation	134,000
15	O'Neill St work	325,606
Stage 2 Total		\$5,468,000
Project total (Including O'Neill St work)		\$5,894,000

Next steps

29. Staff will brief the designer to complete the detailed design and lodge for building consent.
30. Staff will initiate procurement and delivery of the project.

Attachments

- Appendix A – Staff advice from 5 December workshop.
- Appendix B – Detailed design drawings
- Appendix C – Financial report, Maltby Quantity surveyors.

254 Ponsonby Rd Civic space

Waitematā Local Board Feedback - 5 Dec 2023 workshop

No	Item	Feedback - Questions	Staff advice & actions
1	List of possible uses for R/C application - No noisy activities	The community wish list included movies and music performance.	To include noisy activities in the R/C would require a notified R/C, which would take months and add to costs. The acoustic consultants advice was to establish the site as a general civic space, complying with the unitary plan rules. Music performances may be accommodated as 'temporary events' under the unitary plan.
2	Schools input and uses.	Support for this generally: Bug hotel Moth theme Large social table Pollinator patch	Staff will circulate the schools input to the CLDG and design team to integrate these ideas where suitable and possible.
3	Skylights in the canopy to be deleted	Split support for this Nice to have. Can we have some effect instead? e.g. Lights under at night	The saving is required to stay on budget. The canopy will be open on four sides, so there will be day light. There will be special lighting underneath. If no skylights we can optimise the solar panel layout.
4	Pergola to be deleted	Split support for this. Will the seating remain?	The saving is required to stay on budget. This was added after the preliminary design was approved. The designer is working on a more cost-effective solution to retain the pergola. The seating will remain.
5	Treatment of the underneath of the canopy	It would be good to have some special ceiling treatment.	The designer has provided a number of options which are part of the current 'value engineering' exercise.
6	Solar panels	Will there be solar panels on the roof?	Yes. Subject to approval of the project by the AC 'Giga watt fund' PV panels will provide power for lighting the site and feed to the grid. An 'exemplar for best practice'.
7	Site lighting	What lighting will be provided. We don't want a dark back area.	Refer to the proposed lighting plan in the appendix. There will be security lighting as well as atmospheric lighting. CPTED issues have been considered.
8	Parking / loading spaces – O'Neill St	General support for this	Short term parking spaces will support the use of the civic space. One accessible space is proposed.
9	Provision of a common storeroom	General support for this	A store room will support uses of the space.
10	The addition of three raised planters	General support for this but consider cost and maintenance.	These beds may be at ground level to reduce costs. These were added back on request by the CLDG.

11	Trees	General support to retain existing trees, but consider fruiting trees for the new ones.	Fruiting trees require a high level of maintenance and are prone to disease and insect attack.
12	Fencing to the residential boundaries	General support for this	AC will provide the new fences which will be on AC land. The design will be consulted on with neighbours.
13	Toilet block from Bledisloe	Split support for this but interested in the designer's comment on the aesthetic difference. What about the storeroom? Do we have to keep the auto doors? How much money will be saved? Can a mesh cage be formed over it to allow plants to climb over it – e.g. like the toilets by the museum.	Staff will work through these issues and report back. The unit is in poor condition and staff are obtaining a quote to restore it and deliver it to the site. A storeroom could be formed behind it. The auto doors would remain.
14	Site layout	Where will the movies be shown?	There are two or three possible locations. Use the northern wall which is retained. (Two spots.) Use a drop down screen under the canopy
15	Performances	Where will performances be held and will site lines work?	The plants between the canopy deck area and the paved space could be low to allow sight lines.



**254 PONSONBY ROAD CIVIC SPACE
LANDSCAPE ARCHITECTURAL DRAWINGS
DETAILED DESIGN - 50% PROGRESS ISSUE
07.12.2023**

PAVING / SURFACES:

- P01 - CONCRETE (EXPOSED AGGREGATE)**
Material: Insitu concrete
Mix: Local aggregate, 10% white pebble, 2% black oxide per weight of cement, Enviro mix.
Finish: lightly exposed aggregate. Finish to approved sample.
Colour: 2% black oxide
- P02 - BASALT STONE SETTS**
Material: Natural Stone - G3027 100x100mm x 25mm D
Finish: Flamed (to approved sample)
Mortar: Bedding depths 2-10mm use Steintec Tuffbond adhesion bonding mortar mixed to thicker consistency. Bedding depths 10-40mm use Steintec Tuffbed 2-Pack as per Steintec specification
Grout: Steintec Tuffgrout (dark grey) as per Steintec specification to approved sample
- P03 AGGROK**
Material: 100mm thick layer of 'Aggrok Watermark' compacted bound aggregate laid to manufacturers specifications.
- P04 STANDARD ASPHALT**
Asphalt on subbase to civil engineer's requirements.
- P05 CONCRETE STAIR**
Precast concrete w/ F5 finish, light sandblast finish to approved sample.
- P06 ELEVATED CONCRETE PLATFORM SURFACING**
Precast concrete w/ F5 finish, light sandblast finish to approved sample.
- P10 STAIR NOSING**
Tredfx - SBR 103 Aluminium Stair Nosing
Natural Anodised Aluminium finish with black ribbed polymer insert.
Full length extrusions per tread as per layout plan. No jointing.
Refer Dwg LD-XXX for details
- P11 TACTILE GROUND SURFACE INDICATORS (TGS) WARNING**
Stainless Steel tactile studs laid as a 600mm width band.
Refer LD-XXX for details

KERB, CHANNEL, EDGING:

- K01 - ACO CHANNEL DRAIN**
KSeries ACO strip drain with heelproof grate cover
Material: Cast iron
Size: tbc
Refer BECA civil documentation for details
- K02 XXX**
....

MISCELLANEOUS

- M01 - VERTICAL MARKER**
- M02 - CABLE TRELLIS SYSTEM**
Description: Tensioned s.s cable trellis system from Ronstan Tensile Architecture.
Model: AGSS Grid or similar approved.
Quantity: Allow for 80m2
Location: Northern masonry wall
- M03 - CABLE TRELLIS SYSTEM**
Description: Tensioned s.s cable trellis system from Ronstan Tensile Architecture.
Model: AGS1 Vertical cable trellis
Quantity: Allow for 75 lm
Location: Column mounted (Canopy + Green Discovery Room)

LIGHTING

- L01 - LIGHT POLE TYPE 1**
Description: Fabricated steel pole with street grade luminaires.
Luminaire Model: 1x Luminaire - Refer KME Drawings & Schedule
Pole Size: 9m H x Ø170.
Clamp on banner arm
Finish: Refer KME Electrical drawings for paint colour / finish.
- L02 - COLUMN MOUNT DOWN LIGHTING**
Description: Column mounted down lighting
Model: iGuzinni Woody E201
Size: Refer manufacturers specification.
- L03 - BOLLARD LIGHTING**
Description: Bollard specification tbc
Model: tbc
Size: Refer manufacturers specification.
- L04 - LINEAR STRIP LIGHTING**
Description: Flexible LED
Model: Unios Aeon Flex G2 Linear. AOS21010.PU27.F-RR
Size: Refer Manufacturer. Length Varies
Finish: Stainless steel
- L05 - IN-GROUND UPLIGHTS**
Description: tbc
Size: Øtbc
Finish: tbc
- L06 - CEILING DOWN LIGHTING**
Description: Soffit integrated down light.
Model: Zeron Mini Surface Series
Size: Refer manufacturers specification.

Refer to BECA Lighting drawings for detailed information

STREET FURNITURE

- F01 - SOCIAL BENCH SEAT**
Model: Bespoke
Description: 450mm H X 5000mm L X 800mm W Timber seat with steel plate edge surround. Galv. armrest integrated in timber backrest.
Materials: Fabricated HDG MS steel frame with engineered paint finish to exposed edge panels - FSC certified Purple Heart hardwood timber slats with WoodX penetrating sealer
Footing: Surface mounted bolt connection
- F02 - BENCH SEAT**
Model: Bespoke
Description: 450mm H X 3000mm L X 800mm W Timber bench platform with steel plate edge surround. Galv. armrest integrated in timber backrest.
Materials: Fabricated HDG MS steel frame with engineered paint finish to exposed edge panels - FSC certified Purple Heart hardwood timber slats with WoodX penetrating sealer
Footing: Surface mounted bolt connection
- F03 - TABLE**
Model: Bespoke
Description: Outdoor table.
Size: W 900 x H 900 x 1000DIA
Material: mild steel. TBC via shop DWG process
Finish: Zinc Arc sprayed with Resene Paint finish - Refer Resene Specification
Footing: Surface mounted bolt connection
Quantity: 3
- F04A - SCULPTURAL STOOL**
Model: Bespoke
Description: 450mm H x 360DIA cylindrical fashioned units.
Materials: Basalt Type B
Footing: Dowelled into pavement.
Quantity: 10
- F04B - SCULPTURAL STOOL**
Model: Bespoke
Description: 450mm H x 360DIA cylindrical fashioned units.
Materials: Purple Heart Timber
Finish: lathed finish with penetrating oil finish
Footing: Dowelled into pavement.
Quantity: 10
- F04C - SCULPTURAL STOOL**
Model: Bespoke
Description: 450mm H x 360DIA cylindrical fashioned units w/ perforated pattern to 40% of vertical surface area. Allow for Integrated Internal LED lighting
Materials: HDG mild steel with select paint finish
Footing: Dowelled into pavement.
Quantity: 9
- F05 - LINEAL CONCRETE BLEACHER**
450mm H x 350 - 630mm W (Length Varies)
Precast concrete seat w/ purple heart timber insert slats and integrated painted steel plate backrest & armrest. F5 finish + light sandblast to concrete w/ seeded contrasting aggregate to top honed surface of bench. Sample finish to be approved by L.A prior to fabrication. *Refer to drawing LD-XXX for details*
- F06 - CONCRETE BENCH SEAT**
450mm H x 600mm W x 6000mm L Precast concrete seat w/ purple heart timber insert slats and integrated painted steel plate backrest & armrest. F5 finish + light sandblast to concrete w/ seeded contrasting aggregate to top honed surface of bench. Sample finish to be approved by L.A prior to fabrication. *Refer to drawing LD-XXX for details*
- F10 - STAINLESS STEEL HANDRAIL**
316 Stainless Steel flat bar handrail w/ bead blast finish.
Refer LD-XXX for details
- F11 - CYCLE RACK**
Model: Fabricated Cycle Rack by Streetscape Furniture / Walkspace
Size: Dia.50 x W 300 x H 900
Materials: 316 stainless steel
Finish: Bead blast finish
Footing: Surface mounted with csk security fixings.
- F12 - RUBBISH BIN**
Model: Standard Auckland Council twin bin by Streetscape Furniture / Walkspace
Footing: Base Plate mechanically anchored to slab
- F13A - REMOVABLE VEHICLE BOLLARD**
Model: Javelin RM-H Removable Bollard
Size: Ø140mm
Material: 316 grade SS with bead blast finish.
Footing: Spigot cast into concrete foundation
Refer LD-XXX for details
Quantity: 4
- F13B - IN-SITU FIXED VEHICLE BOLLARD**
Model: Javelin Bollard
Size: Ø140mm
Material: 316 grade SS with bead blast finish.
Footing: Spigot cast into concrete foundation
Refer LD-XXX for details
Quantity: 4
- F14 - DRINKING FOUNTAIN**
Model: Standard Auckland Council proprietary drinking fountain.
H 915mm galvanised stainless steel fountain with 400mm in ground concrete footing. 15mm water feed.

- PL01 - CONCRETE PLANTER - SMALL**
Ø400mm ND x 400mm high x 45mm thick proprietary concrete planter by Hynds Pipe Systems (concrete riser pipe with concrete base added by contractor)

Material: Precast Concrete with cast insitu concrete base
Finish: Natural Concrete
Internal Finish: Planter lined with Sika Blackseal Elastic waterproofing membrane applied according to manufacturers instructions - (to aid moisture retention).
Placement: Placed on 20mm HDPE shim blocks
Fill: Refer to Planter Fill Keynote M04.
Quantity: 11
- PL02 - CONCRETE PLANTER - MEDIUM**
Ø600mm ND x 900mm high x 45mm thick proprietary concrete planter by Hynds Pipe Systems (concrete riser pipe with concrete base added by contractor)

Material: Precast Concrete with cast Insitu Concrete base
Finish: Natural Concrete
Internal Finish: Planter lined with Sika Blackseal Elastic waterproofing membrane applied according to manufacturers instructions - (to aid moisture retention).
Placement: Placed on 20mm HDPE shim blocks
Fill: Refer to Planter Fill Keynote M04.
Quantity: 4
- PL03 - CONCRETE PLANTER - LARGE**
Ø1050mm ND x 900mm high x 64mm thick proprietary concrete planter by Hynds Pipe Systems (concrete riser pipe with concrete base added by contractor)

Material: Precast Concrete with cast Insitu Concrete base
Finish: Natural Concrete
Internal Finish: Planter lined with Sika Blackseal Elastic waterproofing membrane applied according to manufacturers instructions - (to aid moisture retention).
Placement: Placed on 20mm HDPE shim blocks
Fill: Refer to Planter Fill Keynote M04.
Quantity: 6

VEGETATION

- TE** Existing tree retained - Refer Planting Plans LA-201 & LA-202
- TR** Existing tree to be removed. Include for the removal of any below ground pit structure and tree rootball.
Refer Planting Plans LA-201 & LA-202 (Not Part of Enabling Works Contract)
- TN** Tree new
- GB** Existing Gardenbed ground covers to be removed.
Existing feature rocks within the garden beds to be retained for re-use
Refer Planting Plans LA-201 & LA-202 (Not Part of Enabling Works Contract)

UTILITIES

- U01 - ELECTRICAL PILLAR**
Refer BECA services documentation for details
- U02 - HOSE TAP WATER CONNECTION**
Refer BECA civil documentation for details
- U03 - PV INVERTER / BATTERIES / SWITCHBOARD**
Refer BECA services documentation for details
- U04 - ELECTRICAL DISTRIBUTION BOARD**
Refer BECA services documentation for details
- U05 - RAIN WATER COLLECTION TANK**
Refer BECA civil documentation for details
- U06 - EXISTING TRANSFORMER**
Existing transformer retained.
Refer LD-XXX for surrounding landscape enhancements

All service covers to be removed and replaced using new covers unless otherwise indicated for retention.
Refer to BECA CIVIL drawings for information (Not Part of Enabling Works Contract)

DRAFT

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REVISIONS	
A	24.10.2023 PRELIMINARY DESIGN
B	08.11.2023 DETAILED DESIGN - FOR INFORMATION
C	07.12.2023 DETAILED DESIGN - 50% PROGRESS ISSUE



LAND LAB

CLIENT: **AUCKLAND COUNCIL**
PROJECT NO: **2002**
SCALE:
DRAWN BY: _____ CHECKED: **SHG**
STAGE: **DETAILED DESIGN**
PO Box 91392 Victoria Street West Auckland 1010
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PROJECT: **PONSONBY PLAZA TĀMAKI MAKAURAU**

DRAWING: **KEYNOTES**

REVISION: _____ DRAWING NO: _____

C

NOT FOR CONSTRUCTION

TOLE STREET

PONSONBY ROAD

O'NEILL STREET

NOT FOR CONSTRUCTION

EXTENT OF WORKS

HYBRID PARK ROOM

URBAN CANOPY

GREEN DISCOVERY ROOM

FLEXIBLE URBAN PLAZA

W/C

REGOLA

STREET INTERFACE

EXISTING TREE RETAINED

FOOTPATH ENHANCEMENT WORKS (AUCKLAND TRANSPORT)

NEW RAISED PEDESTRIAN CROSSING

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REVISIONS	
A	24.10.2023 PRELIMINARY DESIGN
B	08.11.2023 DETAILED DESIGN - FOR INFORMATION
C	07.12.2023 DETAILED DESIGN - 50% PROGRESS ISSUE



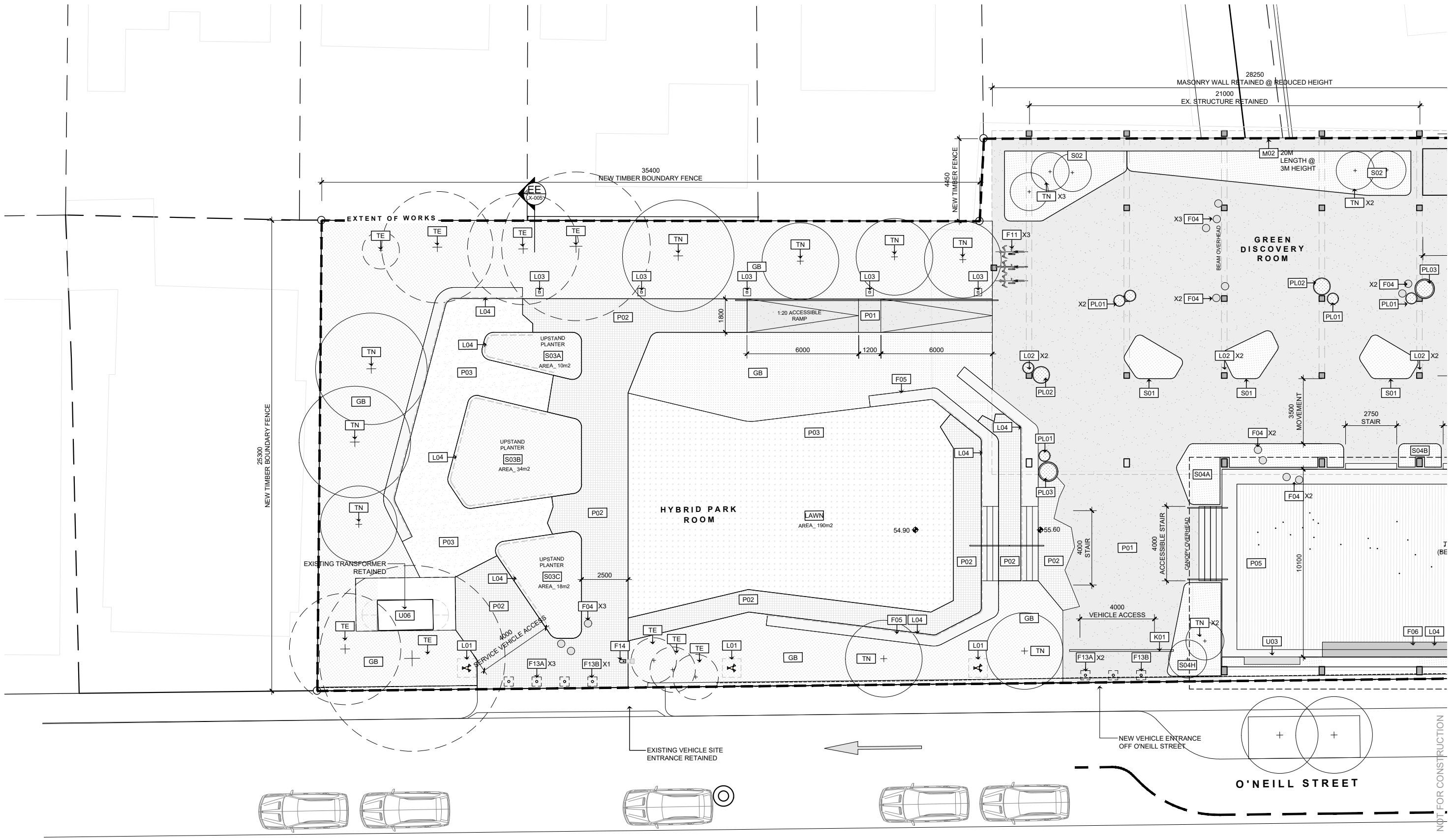
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CLIENT:	AUCKLAND COUNCIL
PROJECT NO:	2002
SCALE:	1:200 (A1) 1:400 (A3)
DRAWN BY:	CHECKED: SHG
STAGE:	DETAILED DESIGN

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PROJECT: PONSONBY PLAZA
TĀMAKI MAKĀURAU
DRAWING: SITE PLAN

REVISION: C DRAWING NO: LA-010



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REVISIONS

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C	07.12.2023	DETAILED DESIGN - 50% PROGRESS ISSUE

- PAVING LEGEND**
- P01 - EXPOSED AGGREGATE CONCRETE
 - P02 - COMPACTED AGGROK
 - P03 - PAVED ACCESSIBLE SURFACE
- LIGHTING LEGEND**
- L01 - 6M HEIGHT PEDESTRIAN POLE
 - L02 - WALL MOUNT LED LUMINAIRE
 - L03 - IN-GROUND LED UPLIGHT
 - L04 - LINEAR LED STRIP LIGHT

- PLANTING LEGEND**
- TN - TREE NEW - PROPOSED
 - TE - TREE EXISTING - RETAINED

- FURNITURE & FIXTURES LEGEND**
- F01 - TIMBER BENCH - TYPE 1
 - F02 - TIMBER BENCH - TYPE 2
 - F04 - PERCHABLE SEATS
 - F10 - REMOVABLE BOLLARD
 - S01 - STEEL RAISED PLANTER SUITE



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CLIENT: **AUCKLAND COUNCIL**

PROJECT NO: **2002**

SCALE: **1:100 (A1) 1:200 (A3)**

DRAWN BY: _____ CHECKED: **SHG**

STAGE: **DETAILED DESIGN**

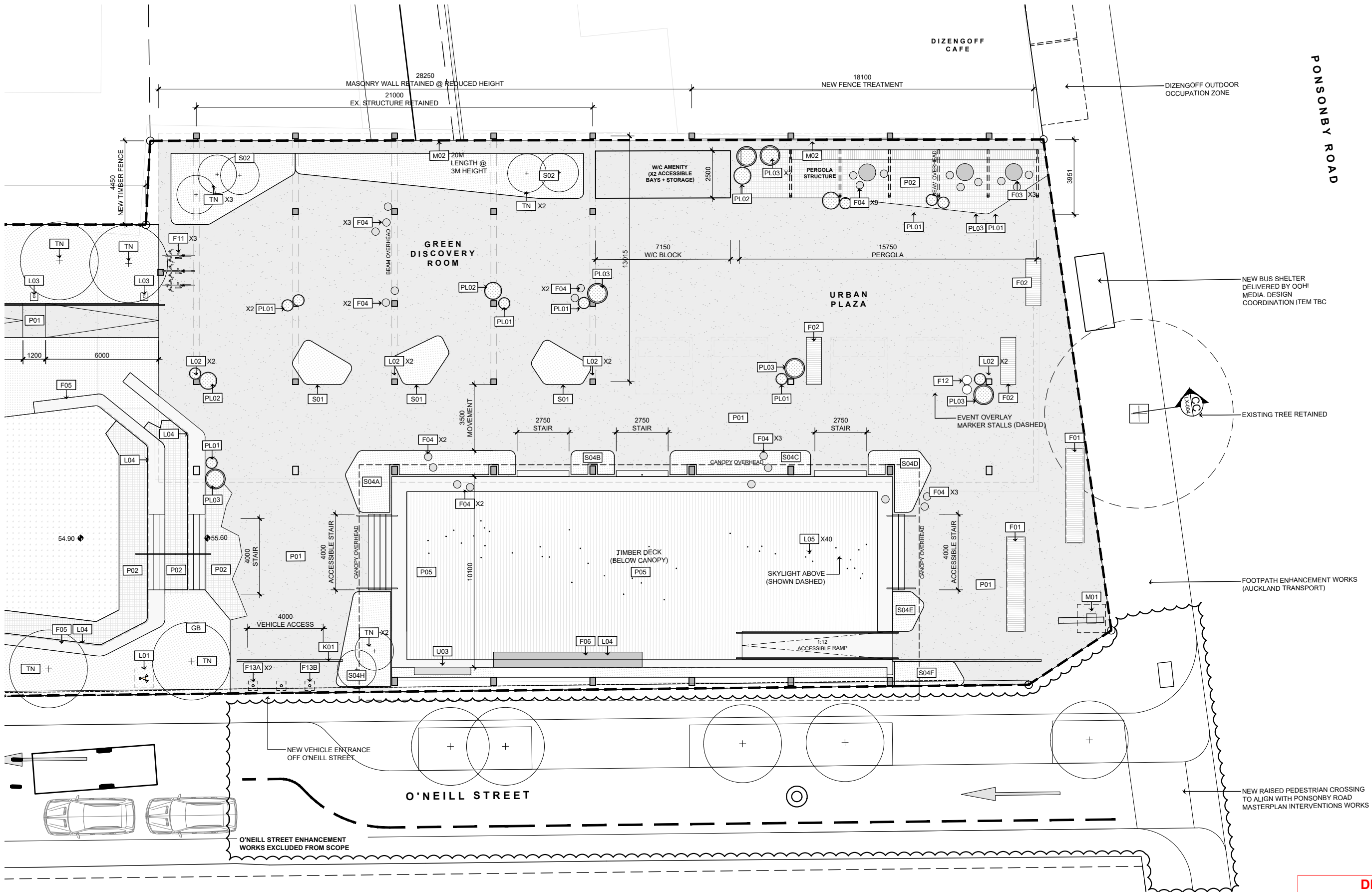
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PROJECT: **PONSONBY PLAZA
TĀMAKI MAKAURAU**

DRAWING: **GENERAL ARRANGEMENT 01**

REVISION: **C**

DRAWING NO: **LA-101**



PONSONBY ROAD

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PAVING LEGEND		L02	WALL MOUNT LED LUMINAIRE
	P01 - EXPOSED AGGREGATE CONCRETE	L03	IN-GROUND LED UPLIGHT
	P02 - COMPACTED AGGROK	L04	LINEAR LED STRIP LIGHT
	P03 - PAVED ACCESSIBLE SURFACE	PLANTING LEGEND	
LIGHTING LEGEND		TN	TREE NEW - PROPOSED
L01	6M HEIGHT PEDESTRIAN POLE	TE	TREE EXISTING - RETAINED

FURNITURE & FIXTURES LEGEND	
F01	TIMBER BENCH - TYPE 1
F02	TIMBER BENCH - TYPE 2
F04	PERCHABLE SEATS
F10	REMOVABLE BOLLARD
S01	STEEL RAISED PLANTER SUITE



LAND
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CLIENT: **AUCKLAND COUNCIL**

PROJECT NO: **2002**

SCALE: **1:100 (A1) 1:200 (A3)**

DRAWN BY: _____ CHECKED: **SHG**

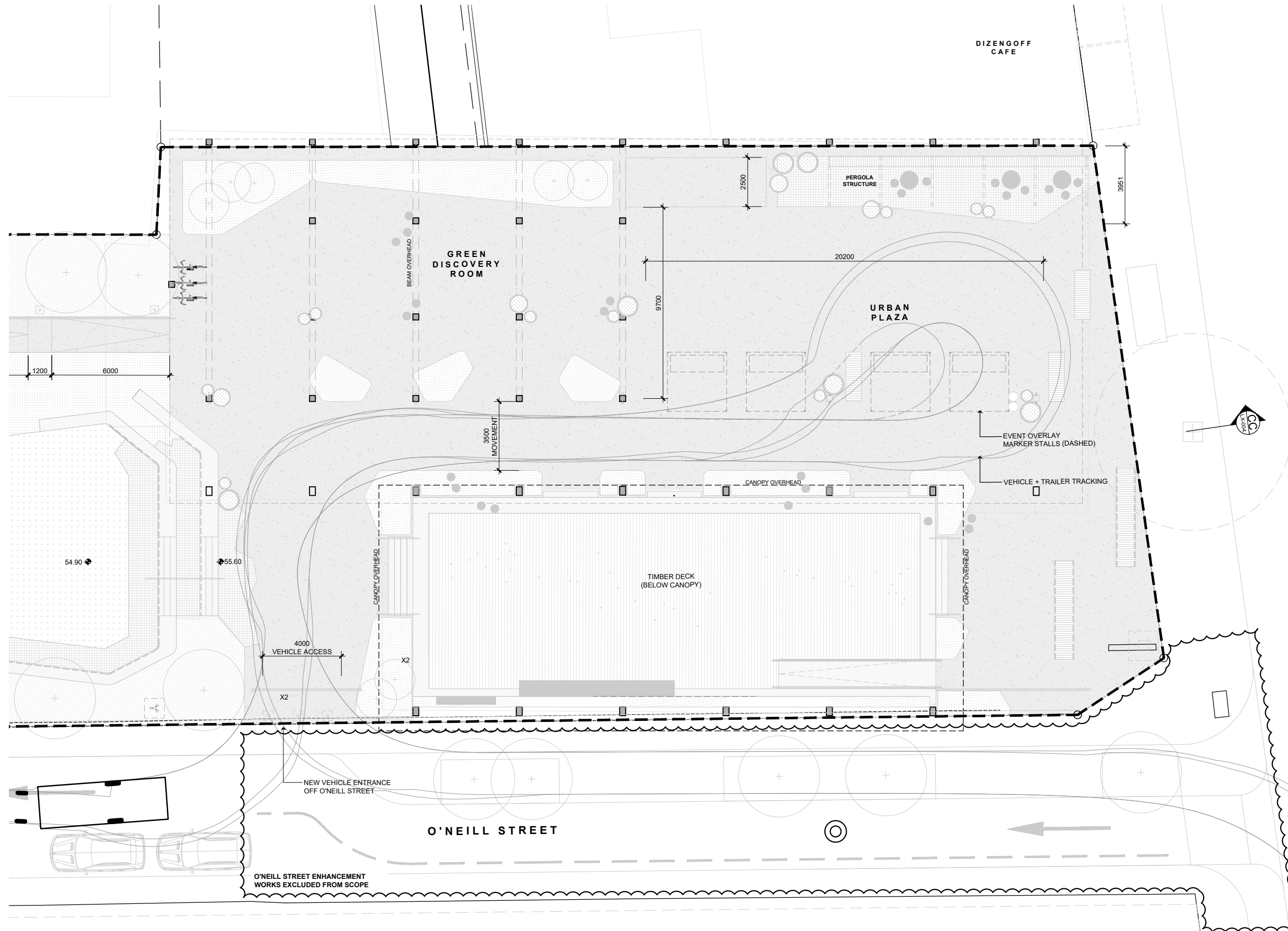
STAGE: **DETAILED DESIGN**

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PROJECT: **PONSONBY PLAZA
TĀMAKI MAKAURAU**

DRAWING: **GENERAL ARRANGEMENT 02**

REVISION: **C** DRAWING NO: **LA-102**



PONSONBY ROAD

O'NEILL STREET

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REVISIONS

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B	08.11.2023	DETAILED DESIGN - FOR INFORMATION
C	07.12.2023	DETAILED DESIGN - 50% PROGRESS ISSUE

- PAVING LEGEND**
- P01 - EXPOSED AGGREGATE CONCRETE
 - P02 - COMPACTED AGGROK
 - P03 - PAVED ACCESSIBLE SURFACE
- LIGHTING LEGEND**
- 6M HEIGHT PEDESTRIAN POLE

- WALL MOUNT LED LUMINAIRE**
- IN-GROUND LED UPLIGHT
 - LINEAR LED STRIP LIGHT
- PLANTING LEGEND**
- TREE NEW - PROPOSED
 - TREE EXISTING - RETAINED

- FURNITURE & FIXTURES LEGEND**
- TIMBER BENCH - TYPE 1
 - TIMBER BENCH - TYPE 2
 - PERCHABLE SEATS
 - REMOVABLE BOLLARD
 - STEEL RAISED PLANTER SUITE



LAND LAB

CLIENT: **AUCKLAND COUNCIL**

PROJECT NO: **2002**

SCALE: **1:100 (A1) 1:200 (A3)**

DRAWN BY: _____ CHECKED: **SHG**

STAGE: **DETAILED DESIGN**

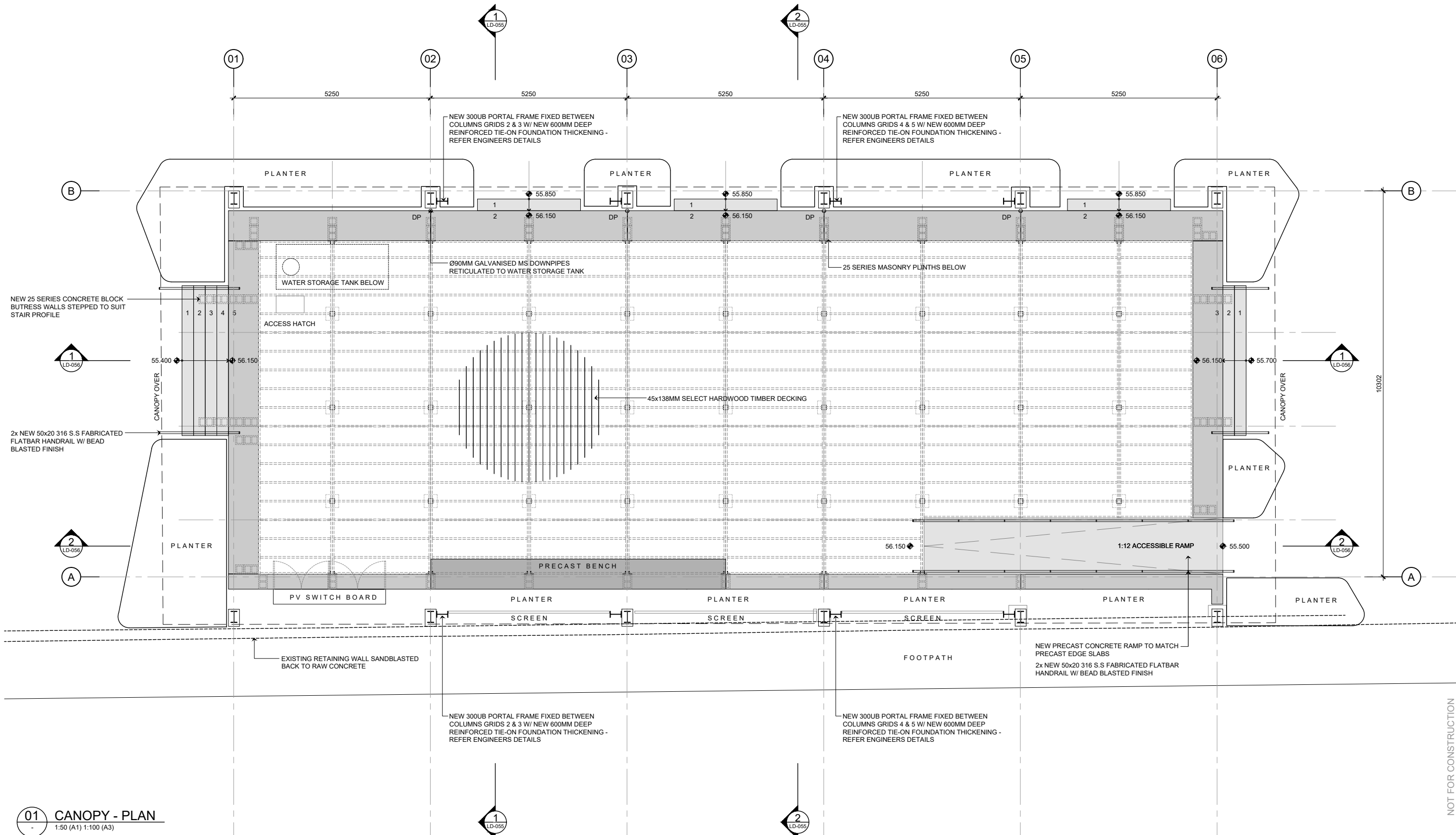
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PROJECT: **PONSONBY PLAZA
TĀMAKI MAKĀURAU**

DRAWING: **EVENT OVELAY PLAN**

REVISION: **C**

DRAWING NO: **LA-110**



01 CANOPY - PLAN
1:50 (A1) 1:100 (A3)

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REVISIONS	DATE	DESCRIPTION
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C	07.12.2023	DETAILED DESIGN - 50% PROGRESS ISSUE



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CLIENT: **AUCKLAND COUNCIL**
 PROJECT NO: **2002**
 SCALE: **1:50 (A1) 1:100 (A3)**
 DRAWN BY: _____ CHECKED: **SHG**
 STAGE: **DETAILED DESIGN**

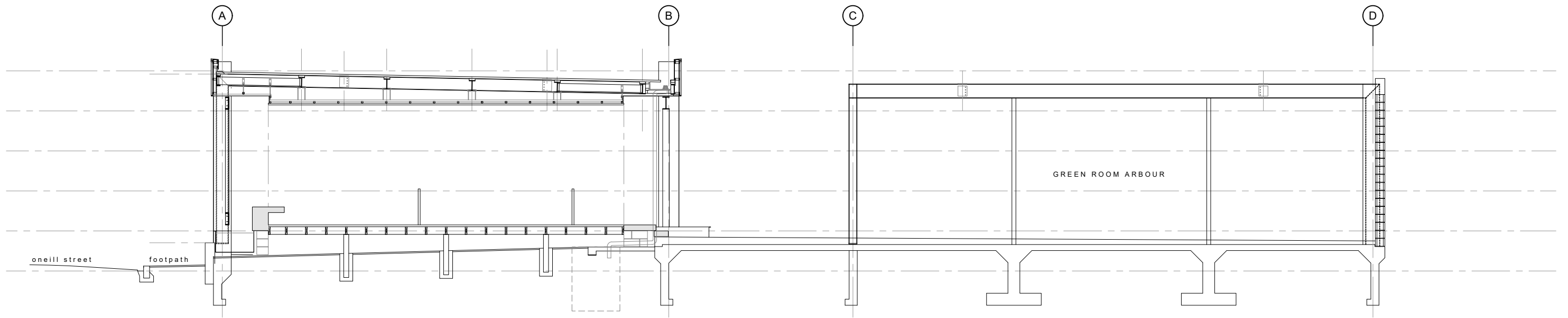
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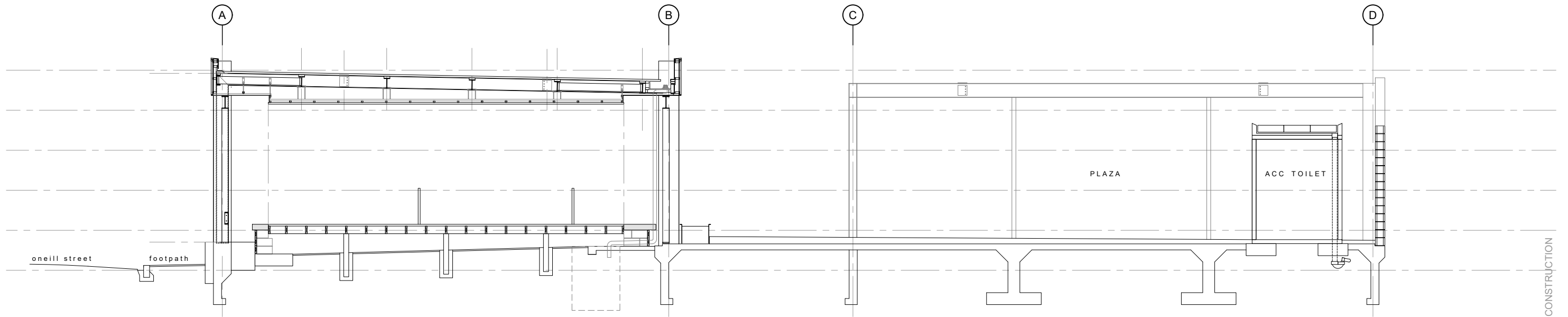
PROJECT: **PONSONBY PLAZA TĀMAKI MAKĀURAU**
 DRAWING: **CANOPY - PLAN**

REVISION: **C** DRAWING NO: **LD-051**

NOT FOR CONSTRUCTION



1 PROPOSED CANOPY CROSS SECTION 1
 1:50 (A1) 1:100 (A3)



2 PROPOSED CANOPY CROSS SECTION 2
 1:50 (A1) 1:100 (A3)

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C	07.12.2023	DETAILED DESIGN - 50% PROGRESS ISSUE

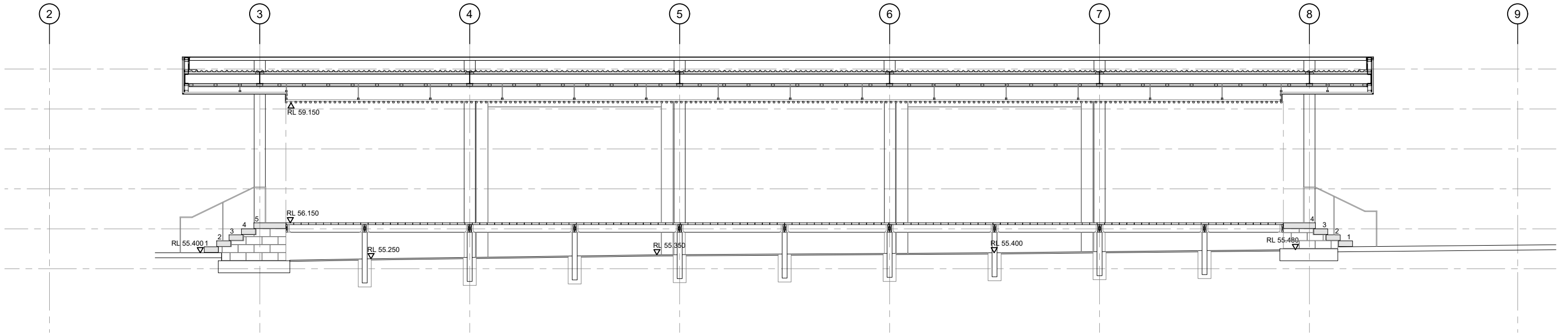
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CLIENT:	AUCKLAND COUNCIL
PROJECT NO.:	2002
SCALE:	1:50 (A1) 1:100 (A3)
DRAWN BY:	CHECKED: SHG
STAGE:	DETAILED DESIGN

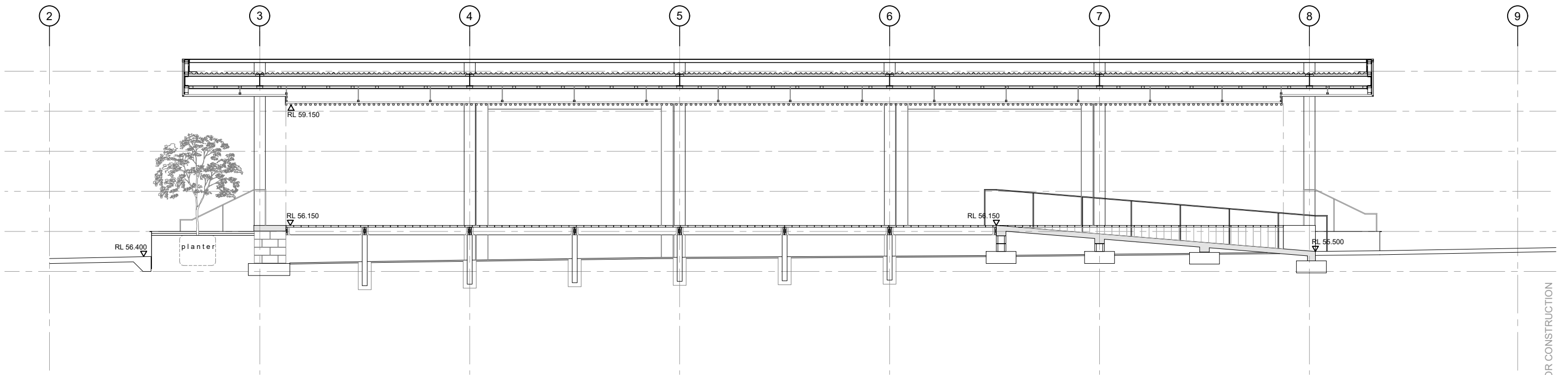
PROJECT:	PONSONBY PLAZA TĀMAKI MAKĀURAU
DRAWING:	CANOPY PROPOSED CROSS SECTIONS

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REVISION:	C	DRAWING NO.:	LD-055
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1 PROPOSED CANOPY LONG SECTION 1
1:50 (A1) 1:100 (A3)



2 PROPOSED CANOPY LONG SECTION 2
1:50 (A1) 1:100 (A3)

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REVISIONS

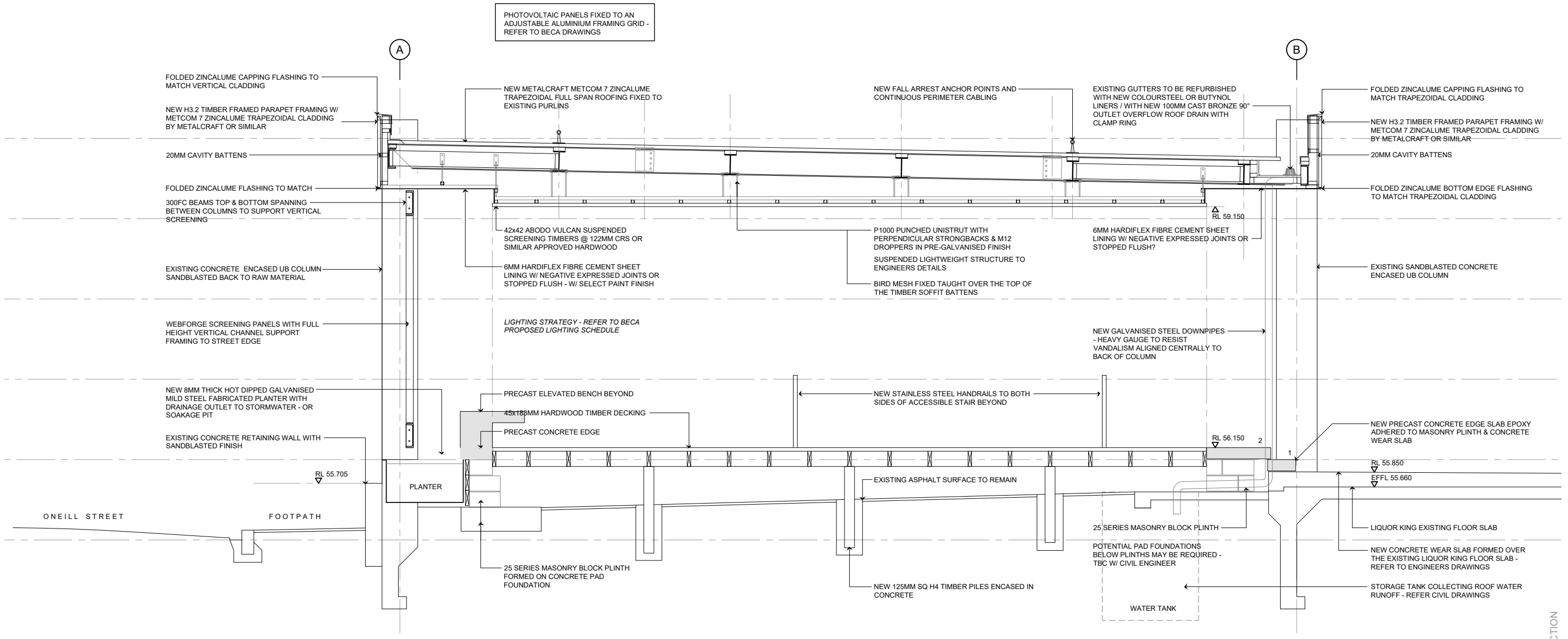
A	24.10.2023	PRELIMINARY DESIGN
B	08.11.2023	DETAILED DESIGN - FOR INFORMATION
C	07.12.2023	DETAILED DESIGN - 50% PROGRESS ISSUE

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CLIENT: **AUCKLAND COUNCIL**
 PROJECT NO: **2002**
 SCALE: **1:50 (A1) 1:100 (A3)**
 DRAWN BY: _____ CHECKED: **SHG**
 STAGE: **DETAILED DESIGN**

DRAFT

PROJECT: **PONSONBY PLAZA
TĀMAKI MAKĀURAU**
 DRAWING: _____
CANOPY PROPOSED LONG SECTIONS



1 PROPOSED CANOPY CROSS SECTION 1
1:50 (A1) 1:100 (A3)

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REVISIONS	DATE	DESCRIPTION
A	24.10.2023	PRELIMINARY DESIGN
B	08.11.2023	DETAILED DESIGN - FOR INFORMATION
C	07.12.2023	DETAILED DESIGN - 50% PROGRESS ISSUE

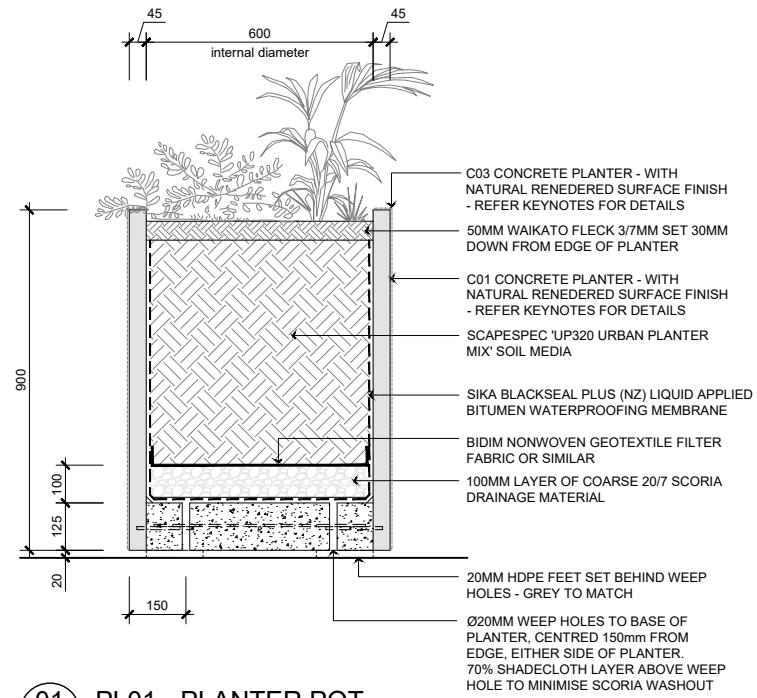


CLIENT:	AUCKLAND COUNCIL
PROJECT NO.:	2002
SCALE:	1:50 (A1) 1:100 (A3)
DRAWN BY:	CHECKED: SHG
STAGE:	DETAILED DESIGN

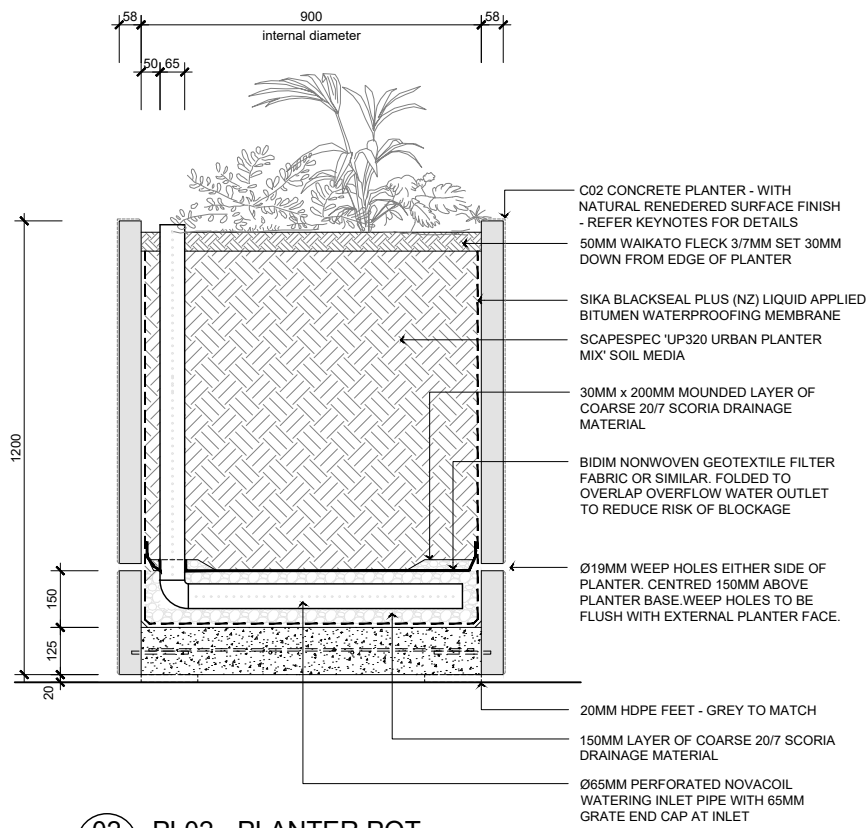
PROJECT:	PONSONBY PLAZA TĀMAKI MAKAURAU
DRAWING:	CANOPY DETAILED CROSS SECTION
REVISION:	C
DRAWING NO.:	LD-057

NOT FOR CONSTRUCTION

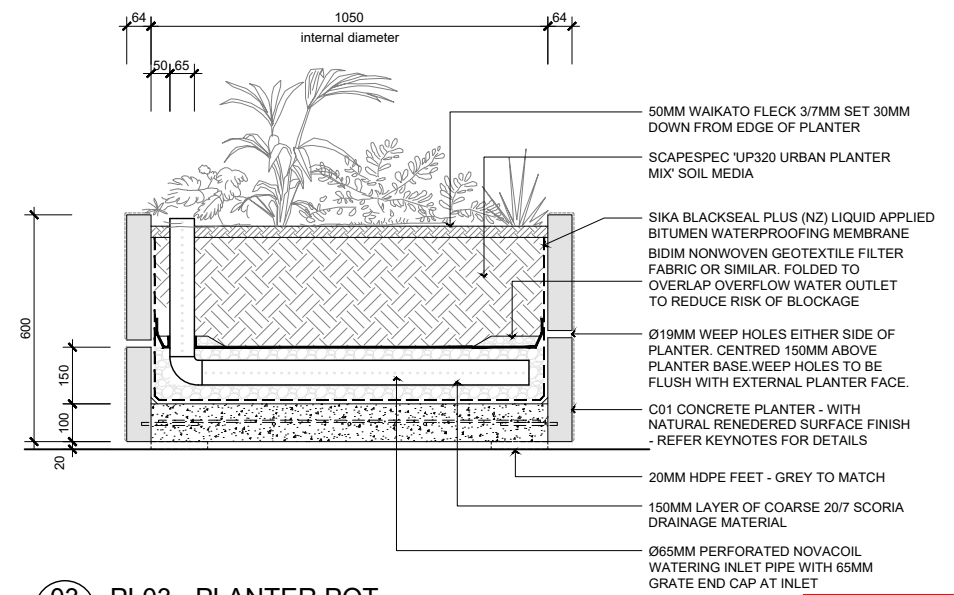
DRAFT



01 PL01 - PLANTER POT
1:10 (A1) 1:20 (A3)



02 PL02 - PLANTER POT
1:10 (A1) 1:20 (A3)



03 PL03 - PLANTER POT
1:10 (A1) 1:20 (A3)

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C	07.12.2023 - DETAILED DESIGN - 50% PROGRESS ISSUE



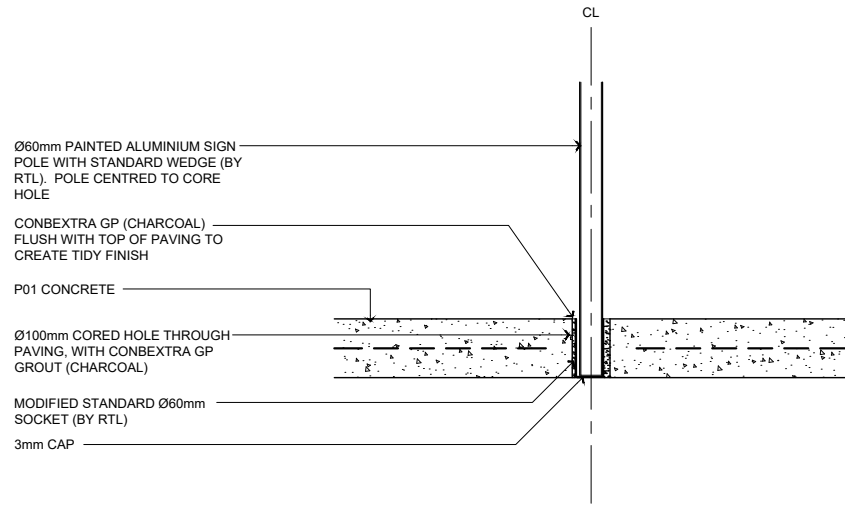
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CLIENT: **AUCKLAND COUNCIL**
PROJECT NO: **2002**
SCALE: **1:250 (A1) 1:500 (A3)**
DRAWN BY: _____ CHECKED: **SHG**
STAGE: **DETAILED DESIGN**

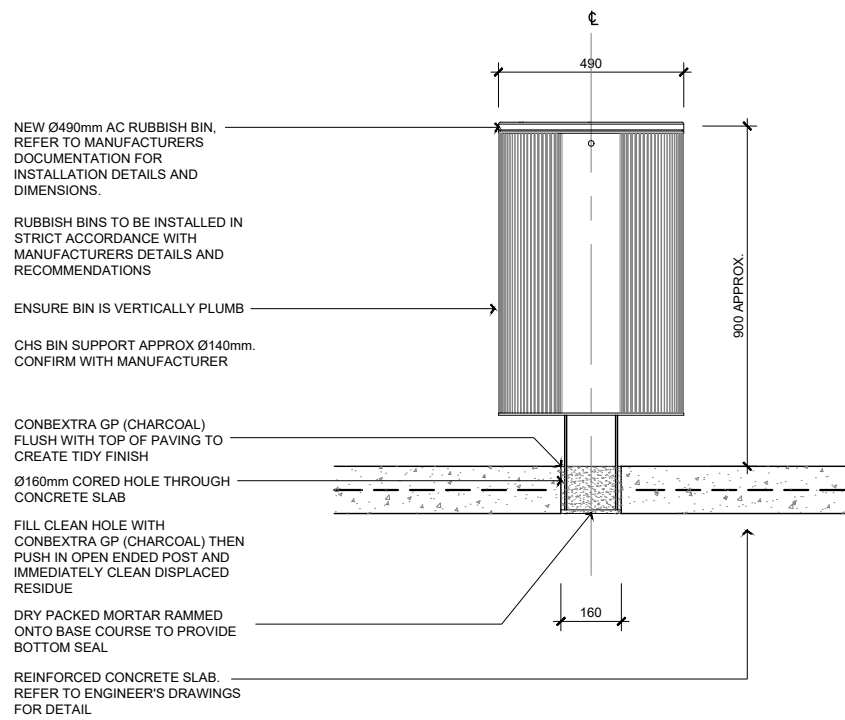
PROJECT: **PONSONBY PLAZA
TĀMAKI MAKĀURAU**
DRAWING: **PLANTER POTS**

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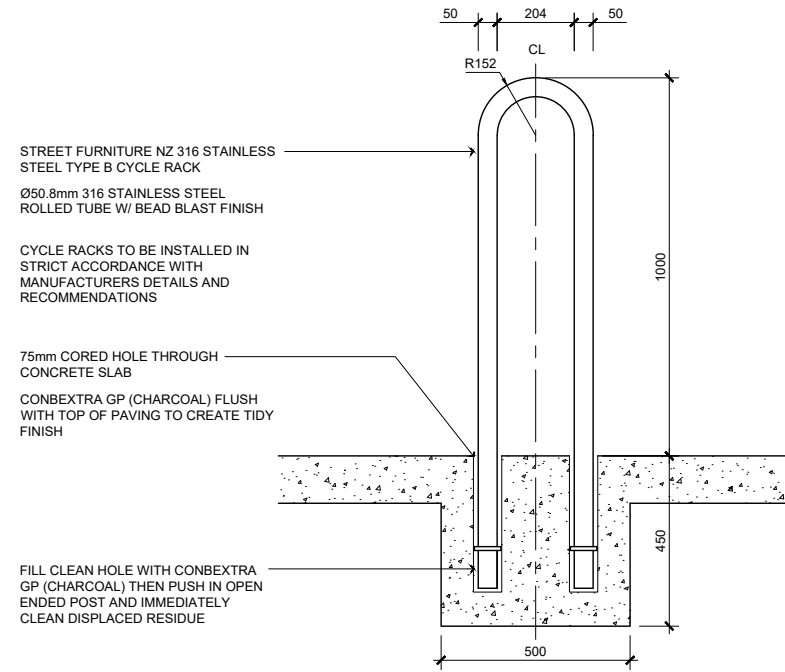
REVISION: _____ DRAWING NO: **LD-300**



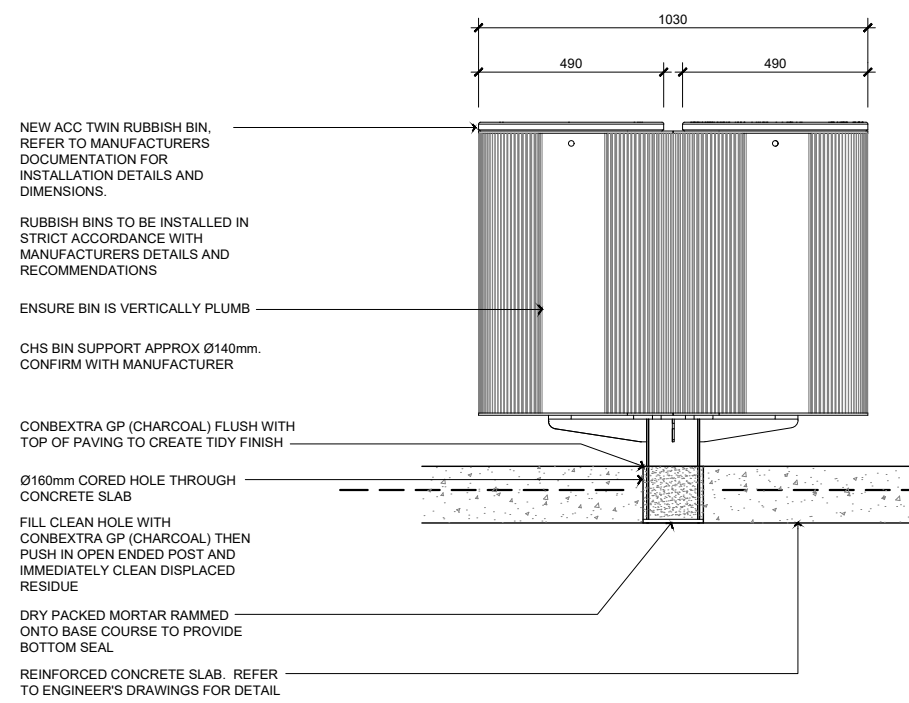
01 SECTION 01
1:125 (A1) 1:250 (A3)



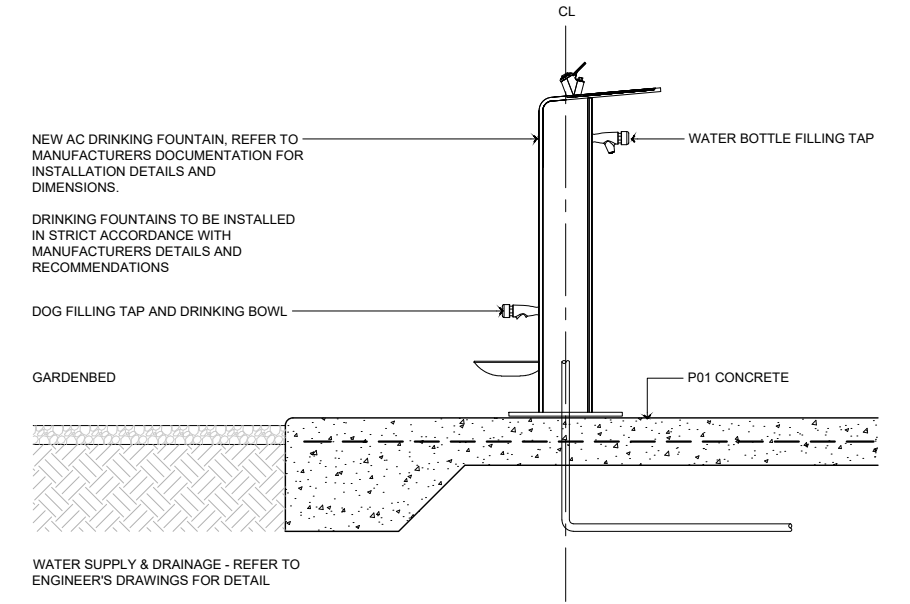
01 SINGLE BIN - ELEVATION
1:125 (A1) 1:250 (A3)



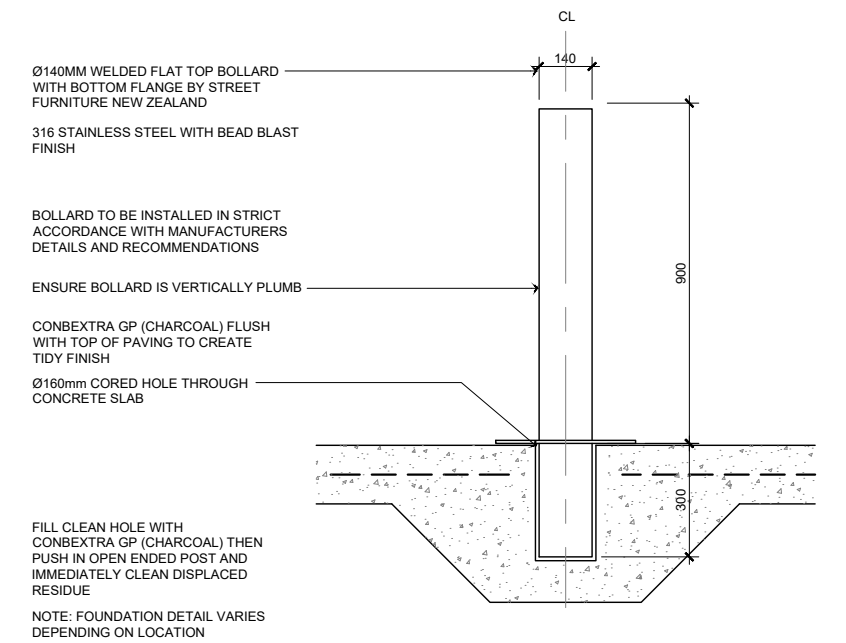
01 BICYCLE RACK - TYPICAL SECTION
1:125 (A1) 1:250 (A3)



01 TWIN RUBBISH BIN - ELEVATION
1:125 (A1) 1:250 (A3)



01 DRINKING FOUNTAIN
1:125 (A1) 1:250 (A3)



01 BOLLARD - IN-SITU
1:125 (A1) 1:250 (A3)

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B	08.11.2023 DETAILED DESIGN - FOR INFORMATION
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CLIENT: **AUCKLAND COUNCIL**
PROJECT NO: **2002**
SCALE: **1:250 (A1) 1:500 (A3)**
DRAWN BY: _____ CHECKED: **SHG**
STAGE: **DETAILED DESIGN**

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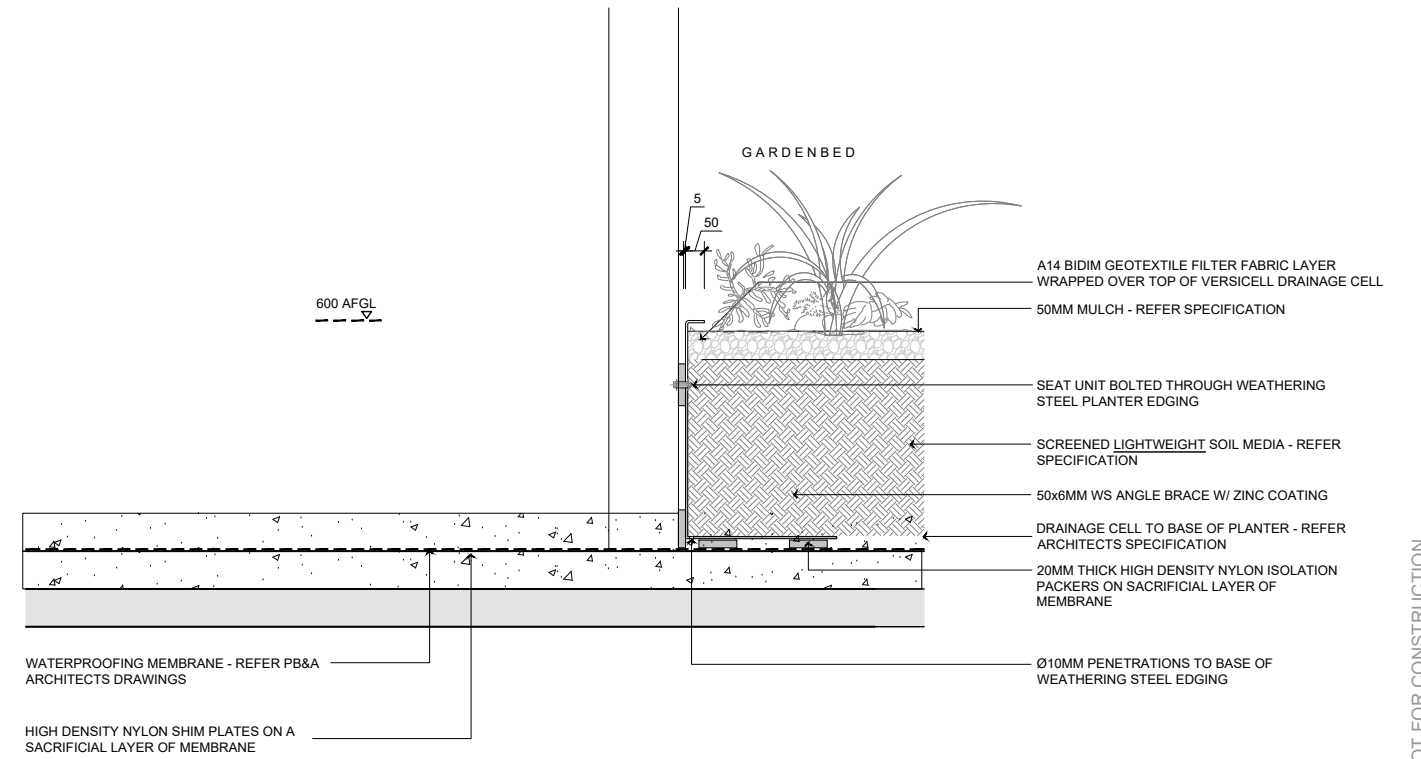
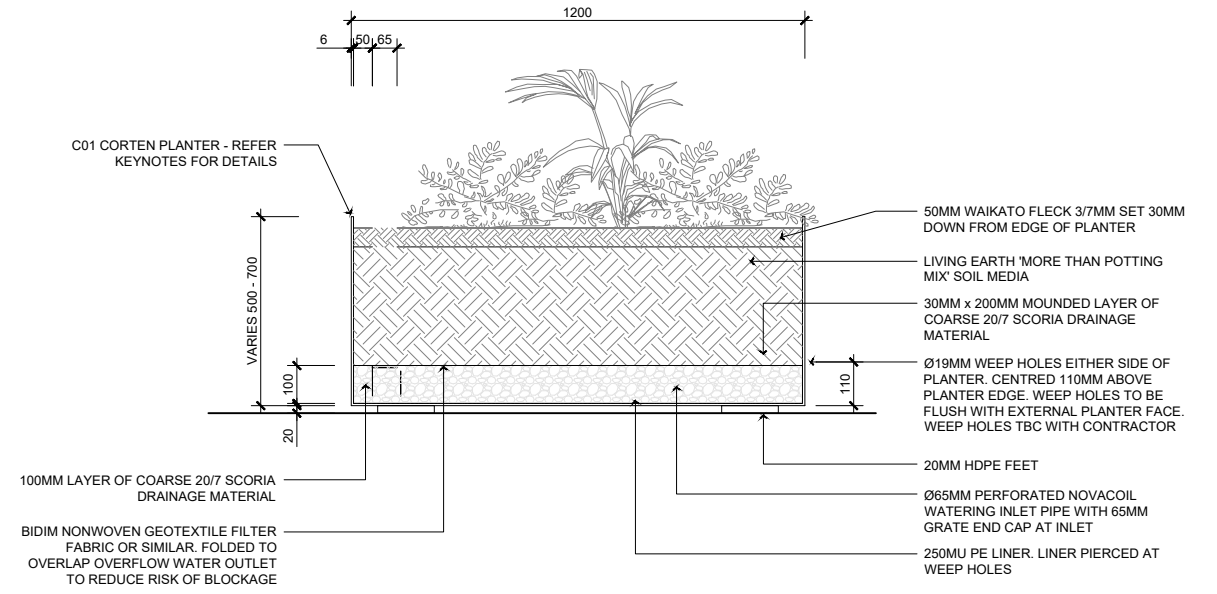
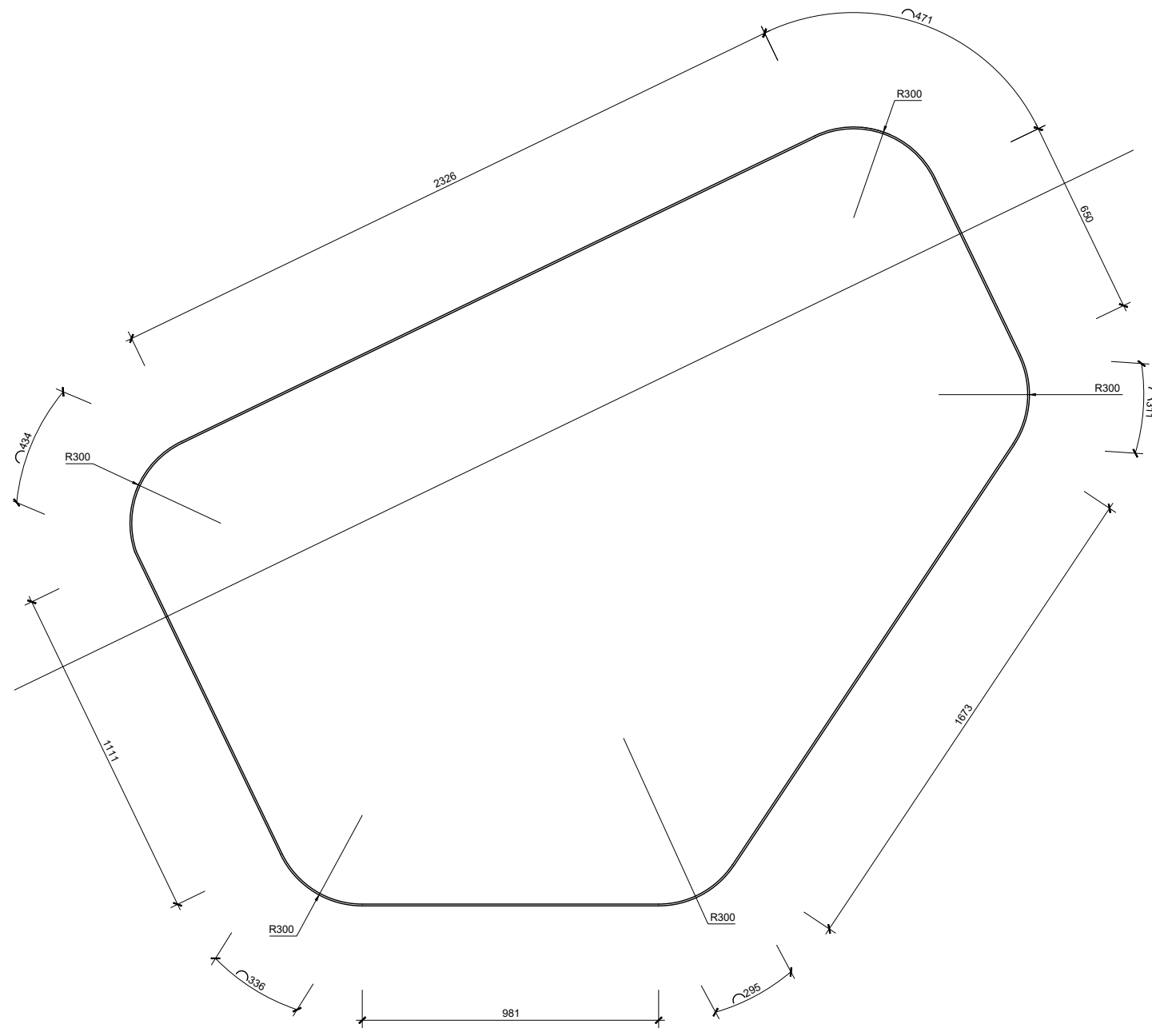
PROJECT: **PONSONBY PLAZA
TĀMAKI MAKAURAU**

DRAWING: **FURNITURE STANDARD**

REVISION: _____ DRAWING NO: _____

LD-400

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REVISIONS	
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B	08.11.2023 DETAILED DESIGN - FOR INFORMATION
C	07.12.2023 DETAILED DESIGN - 50% PROGRESS ISSUE



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CLIENT: **AUCKLAND COUNCIL**

PROJECT NO: **2002**

SCALE: **1:250 (A1) 1:500 (A3)**

DRAWN BY: _____ CHECKED: **SHG**

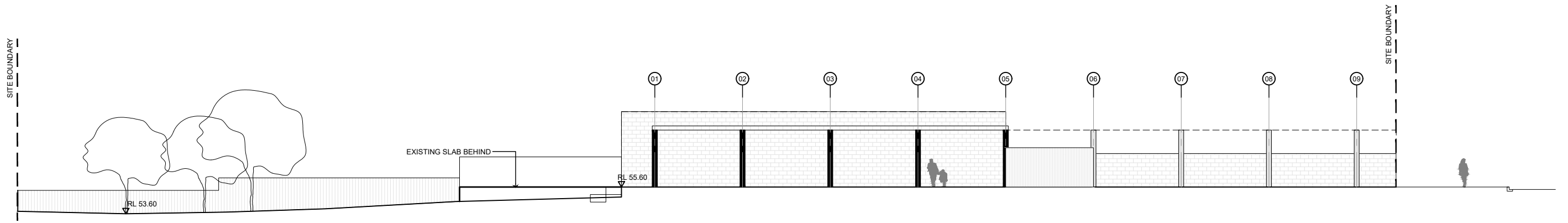
STAGE: **DETAILED DESIGN**

PROJECT: **PONSONBY PLAZA TĀMAKI MAKAURAU**

DRAWING: **RAISED GARDEN BED**

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REVISION: _____ DRAWING NO: **LD-410**



01 SECTION 01
1:125 (A1) 1:250 (A3)

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REVISIONS		
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B	08.11.2023	DETAILED DESIGN - FOR INFORMATION
C	07.12.2023	DETAILED DESIGN - 50% PROGRESS ISSUE



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CLIENT: **AUCKLAND COUNCIL**
 PROJECT NO: **2002**
 SCALE: **1:50 (A1) 1:100 (A3)**
 DRAWN BY: _____ CHECKED: **SHG**
 STAGE: **DETAILED DESIGN**

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PROJECT: **PONSONBY PLAZA
TĀMAKI MAKĀURAU**

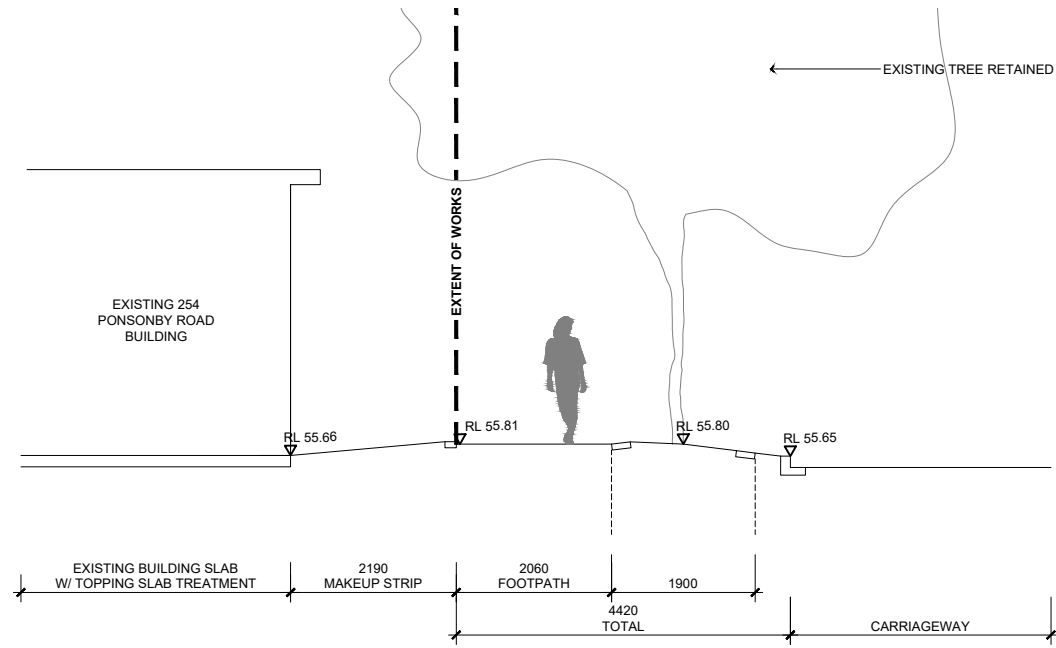
DRAWING: **SECTIONS 01**

REVISION: **C**

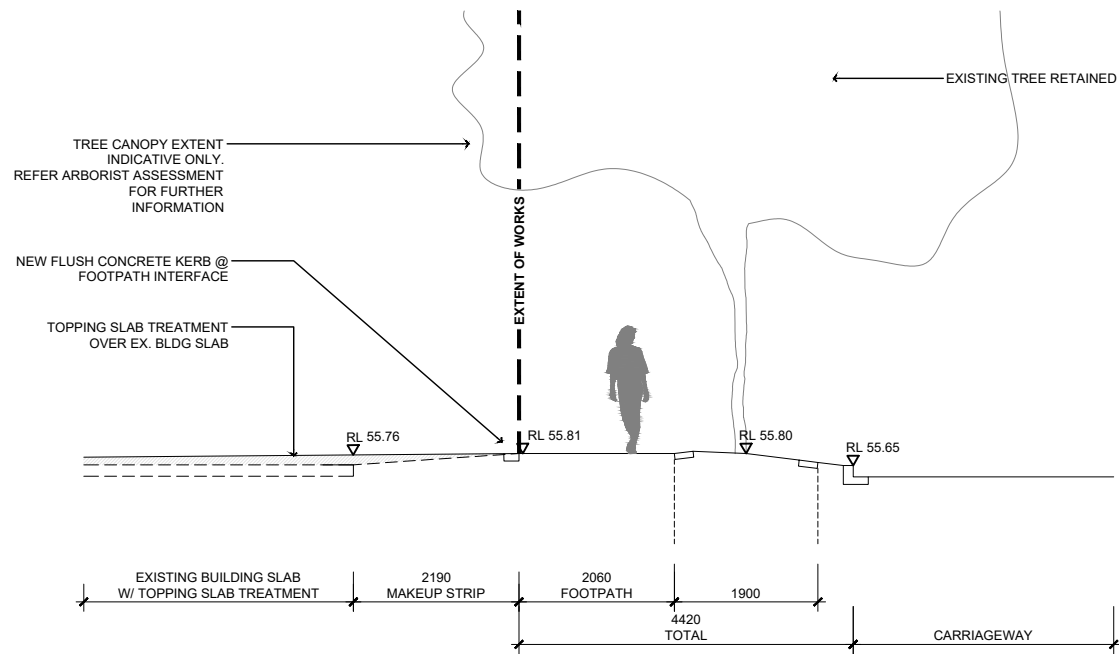
NOT FOR CONSTRUCTION

DRAFT

DRAWING NO: **LX-001**



1 SECTION CC - EXISTING
1:25 (A1) 1:50 (A3)



2 SECTION CC - PROPOSED
1:25 (A1) 1:50 (A3)

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REVISIONS	
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C	07.12.2023 DETAILED DESIGN - 50% PROGRESS ISSUE



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LAB**

CLIENT: **AUCKLAND COUNCIL**
PROJECT NO: **2002**
SCALE: **1:25 (A1) 1:50 (A3)**
DRAWN BY: _____ CHECKED: **SHG**
STAGE: **DETAILED DESIGN**

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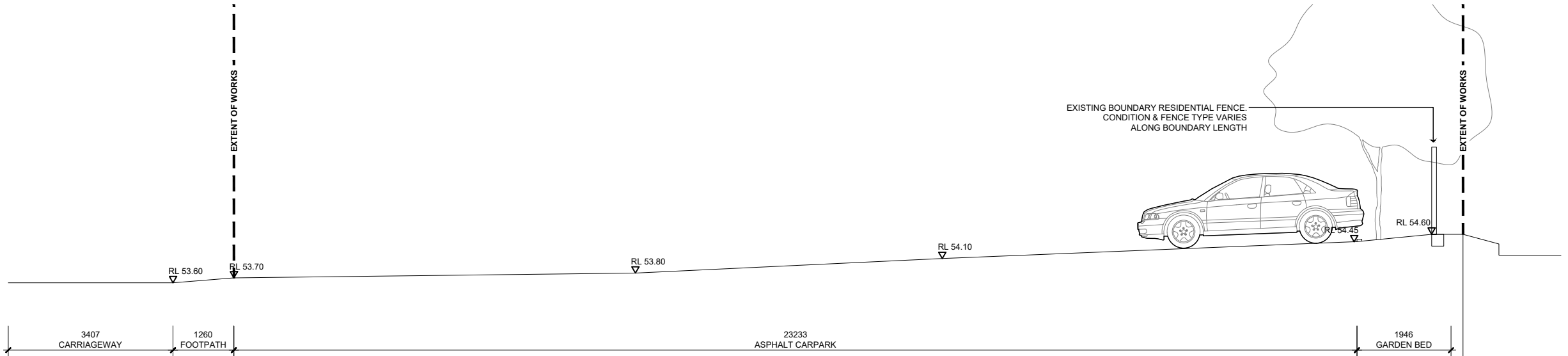
DRAFT

PROJECT: **PONSONBY PLAZA
TĀMAKI MAKĀURAU**

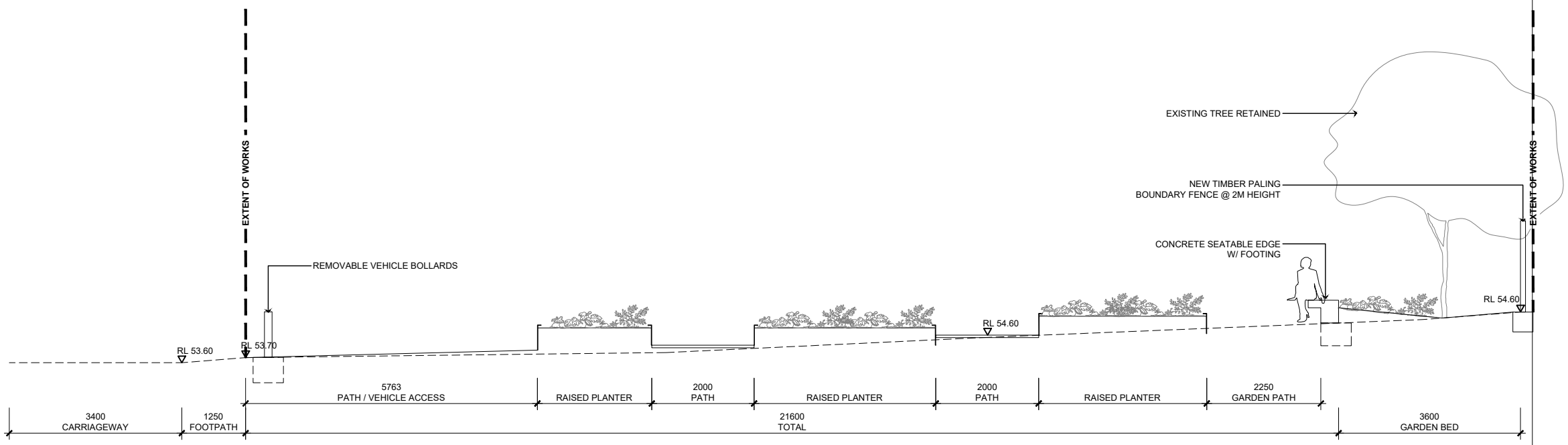
DRAWING: **SECTIONS 04**

REVISION: **C**

DRAWING NO: **LX-004**



1 SECTION EE - EXISTING
1:25 (A1) 1:50 (A3)



2 SECTION EE - PROPOSED
1:25 (A1) 1:50 (A3)

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REVISIONS	
A	24.10.2023 PRELIMINARY DESIGN
B	08.11.2023 DETAILED DESIGN - FOR INFORMATION
C	07.12.2023 DETAILED DESIGN - 50% PROGRESS ISSUE



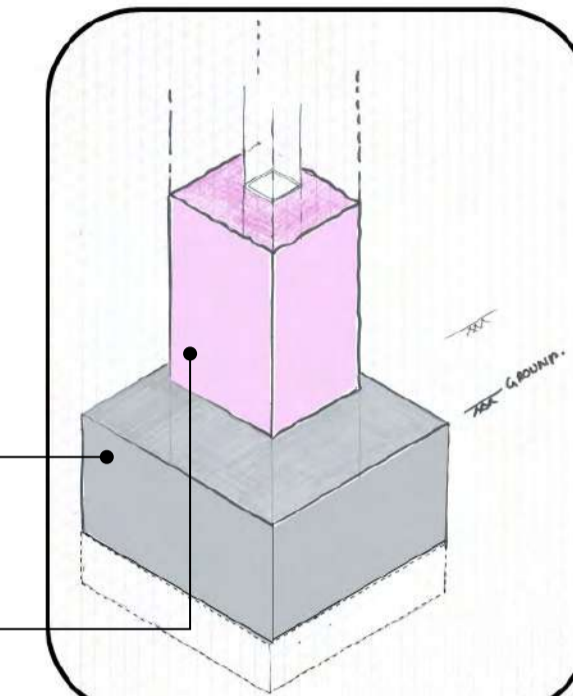
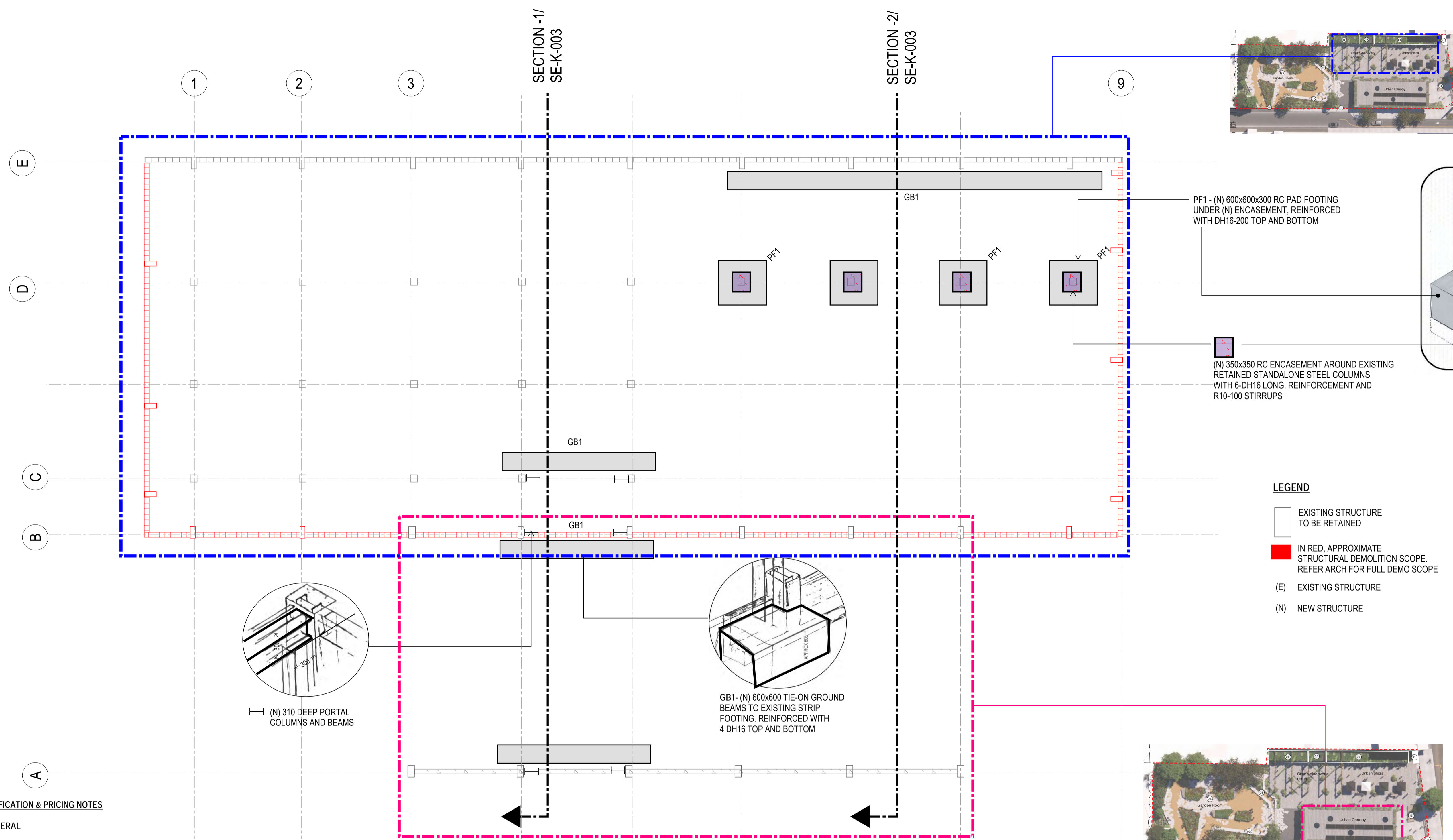
LAND LAB

CLIENT:	AUCKLAND COUNCIL
PROJECT NO:	2002
SCALE:	1:25 (A1) 1:50 (A3)
DRAWN BY:	CHECKED: SHG
STAGE:	DETAILED DESIGN

PROJECT:	PONSONBY PLAZA TĀMAKI MAKĀURAU
DRAWING:	SECTIONS 05

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REVISION:	C	DRAWING NO:	LX-005
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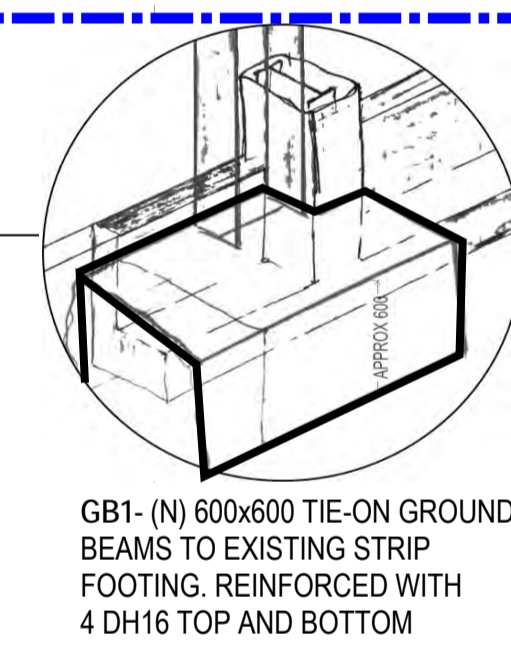
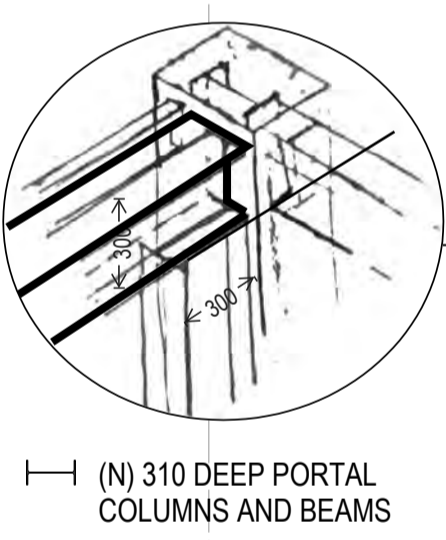


- LEGEND**
- EXISTING STRUCTURE TO BE RETAINED
 - IN RED, APPROXIMATE STRUCTURAL DEMOLITION SCOPE. REFER ARCH FOR FULL DEMO SCOPE
 - (E) EXISTING STRUCTURE
 - (N) NEW STRUCTURE



SPECIFICATION & PRICING NOTES

- 1. GENERAL**
- 1.1 ALL SETOUT AND DIMENSIONS SHALL BE CONFIRMED DURING SITE SURVEY.
 - 1.2 READ IN CONJUNCTION WITH ARCHITECTURAL DRAWING AND SPECIFICATIONS
 - 1.3 REFER TO ARCH FOR DEMOLITION EXTENT.
- 2.0 STRUCTURAL STEEL**
- 2.1 GENERAL**
- 2.1.1 ALL NEW STRUCTURAL STEEL SHALL BE OF GRADE 300 UNO.
 - 2.1.2 ALLOW FOR WELDED GRADE 8.8 SHEAR STUDS IN STEEL BEAMS SUPPORTING TRAYDECK FLOORS
 - 2.1.3 ALLOW FOR SCNZ WP30 CONNECTIONS FOR STEEL-TO-STEEL CONNECTIONS UNO
 - 2.1.4 ALLOW FOR CAST-IN PLATE CONNECTIONS FOR STEEL-TO-CONCRETE CONNECTIONS.
- 2.2 CORROSION & FIRE PROTECTION/APPLIED COATINGS**
- 2.2.1 ALL STEELWORK TO BE GALVANISED OR OTHERWISE CORROSION PROTECTED FOR THE FOLLOWING PARAMETERS IN ACCORDANCE WITH THE DOCUMENT "SNZ TS 3404:2018 Durability requirements for steel structures and components"
 - SPECIFIED INTENDED LIFE - 50 YEARS (Clause 1.7)
 - TIME TO FIRST MAINTENANCE - 15 YEARS (Clause 1.7)
 - SURFACE SPECIFIC CORROSION CATEGORY - C4
 - 2.2.2 TOP COAT AND COLOUR TO CLIENTS REQUIREMENTS



PLAN AT FOUNDATION LEVEL

- NOTES**
1. READ IN CONJUNCTION WITH ARCHITECTURAL AND CIVIL DRAWINGS.
 2. DEMOLITION SCOPE IS INDICATIVE, REFER ARCH FOR FULL EXTENT.

- 3.0 REINFORCED CONCRETE**
- 3.1 MINIMUM 28 DAY COMPRESSIVE STRENGTH SHALL BE 30MPa
 - 3.2 STEEL REINFORCEMENT $f_y=500MPa$
 - 3.3 CONCRETE CONSTRUCTION SHALL BE IN ACCORDANCE WITH NZS 3109:1997.
 - 3.4 MINIMUM COVER TO REINFORCEMENT SHALL BE 75mm TO NATURAL GROUND AND 50mm ELSEWHERE UNLESS NOTED OTHERWISE.

No.	Revision	By	Chk	Appd	Date
A	ISSUED FOR PRELIMINARY DESIGN	NKV	MR	MR	21.09.23



Original Scale (A1)	Design	Approved For Construction*
Reduced Scale (A3)	Drawn	Date
	Dwg Verifier	
	Dwg Check	

* Refer to Revision 1 for Original Signature

Client: AUCKLAND COUNCIL

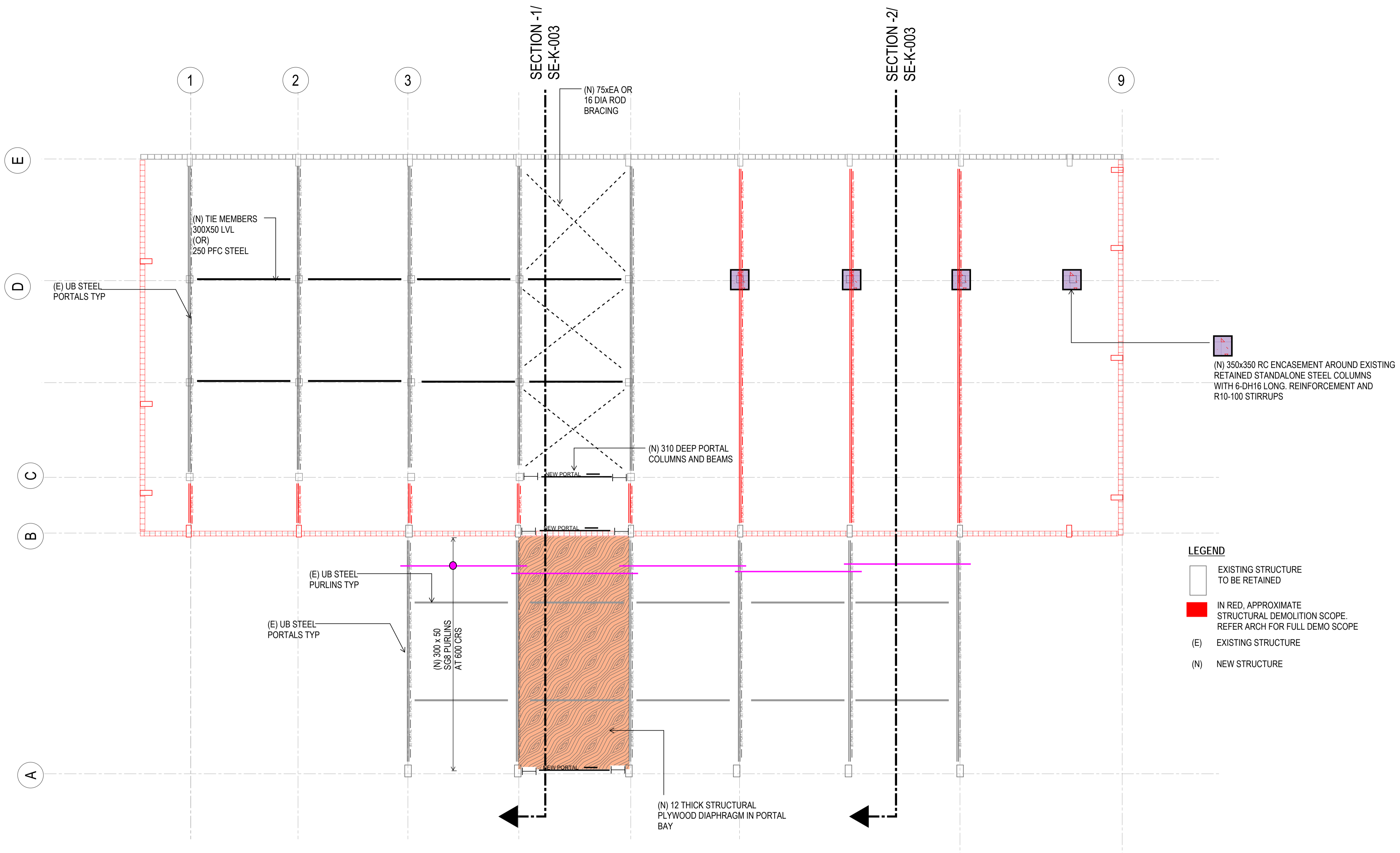
Project: 254 PONSONBY ROAD CIVIC SPACE

Title: STRUCTURAL PLAN AT FOUNDATION LEVEL

Discipline	STRUCTURAL
Drawing No.	3127486-SE-K-001
Rev.	A

PRELIMINARY
NOT FOR CONSTRUCTION

PDF ONLY
NO DWG FILE



LEGEND

- EXISTING STRUCTURE TO BE RETAINED
- IN RED, APPROXIMATE STRUCTURAL DEMOLITION SCOPE. REFER ARCH FOR FULL DEMO SCOPE
- (E) EXISTING STRUCTURE
- (N) NEW STRUCTURE

PLAN AT ROOF LEVEL

No.	Revision	By	Chk	Appd	Date
A	ISSUED FOR PRELIMINARY DESIGN	NKV	MR	MR	21.09.23



Original Scale (A1)	Design	Approved For Construction*
Reduced Scale (A3)	Drawn	Date
	Dwg Verifier	
	Dwg Check	

* Refer to Revision 1 for Original Signature

Client: AUCKLAND COUNCIL

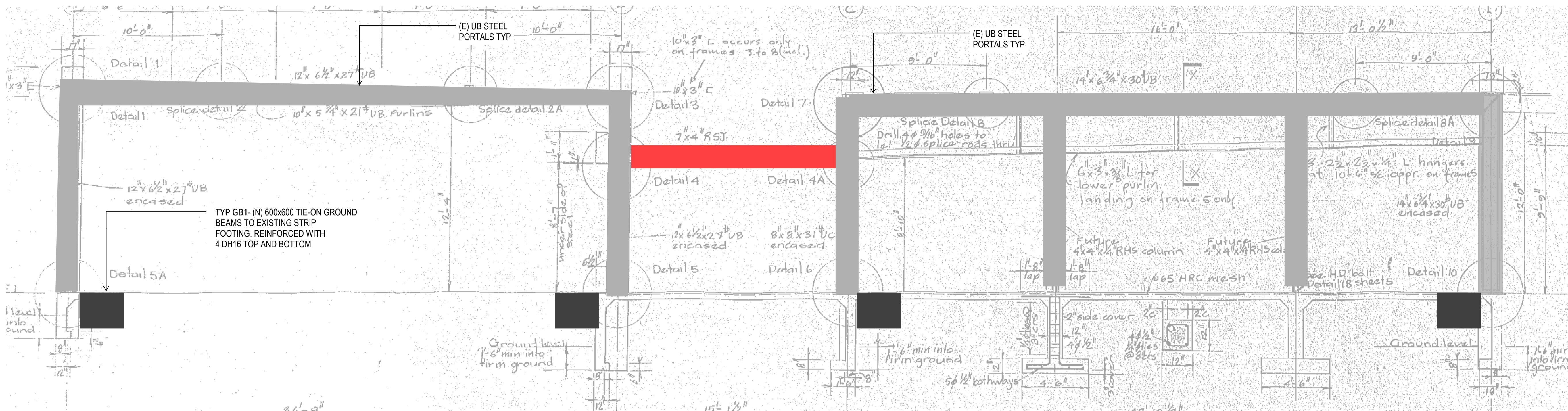
Project: 254 PONSONBY ROAD CIVIC SPACE

Title: STRUCTURAL PLAN AT ROOF LEVEL

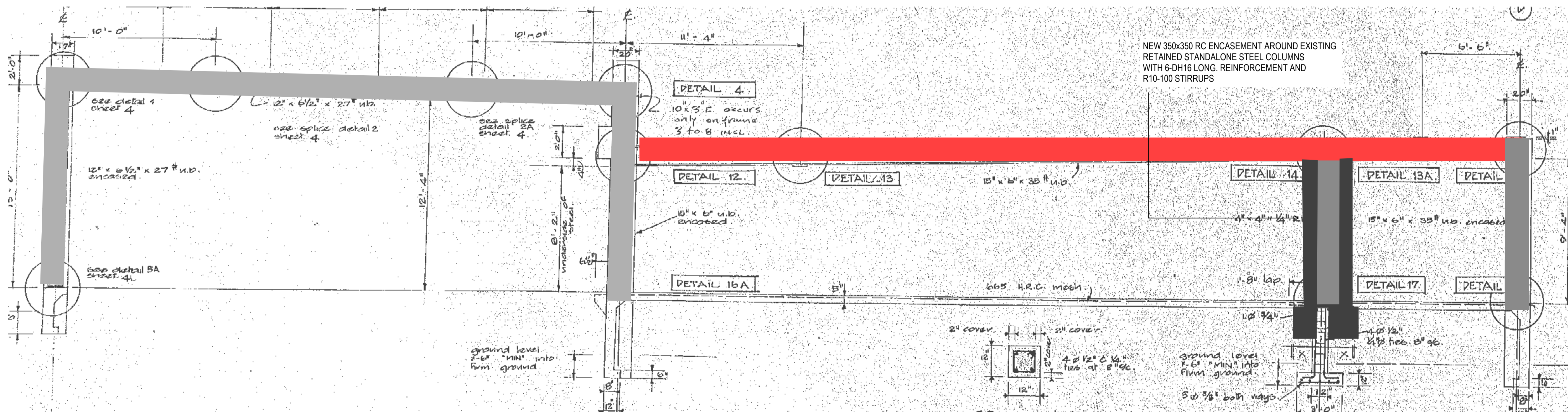
Discipline	STRUCTURAL
Drawing No.	3127486-SE-K-002
Rev.	A

PRELIMINARY
NOT FOR CONSTRUCTION

PDF ONLY
NO DWG FILE



SECTION -1



SECTION -2

LEGEND

	EXISTING STRUCTURE TO BE RETAINED
	IN RED, APPROXIMATE STRUCTURAL DEMOLITION SCOPE. REFER ARCH FOR FULL DEMO SCOPE
(E)	EXISTING STRUCTURE
(N)	NEW STRUCTURE

PRELIMINARY
NOT FOR CONSTRUCTION

PDF ONLY
NO DWG FILE

No.	Revision	By	Chk	Appd	Date
A	ISSUED FOR PRELIMINARY DESIGN	NKV	MR	MR	21.09.23



Original Scale (A1)	Design	Approved For Construction*
Reduced Scale (A3)	Drawn	Date
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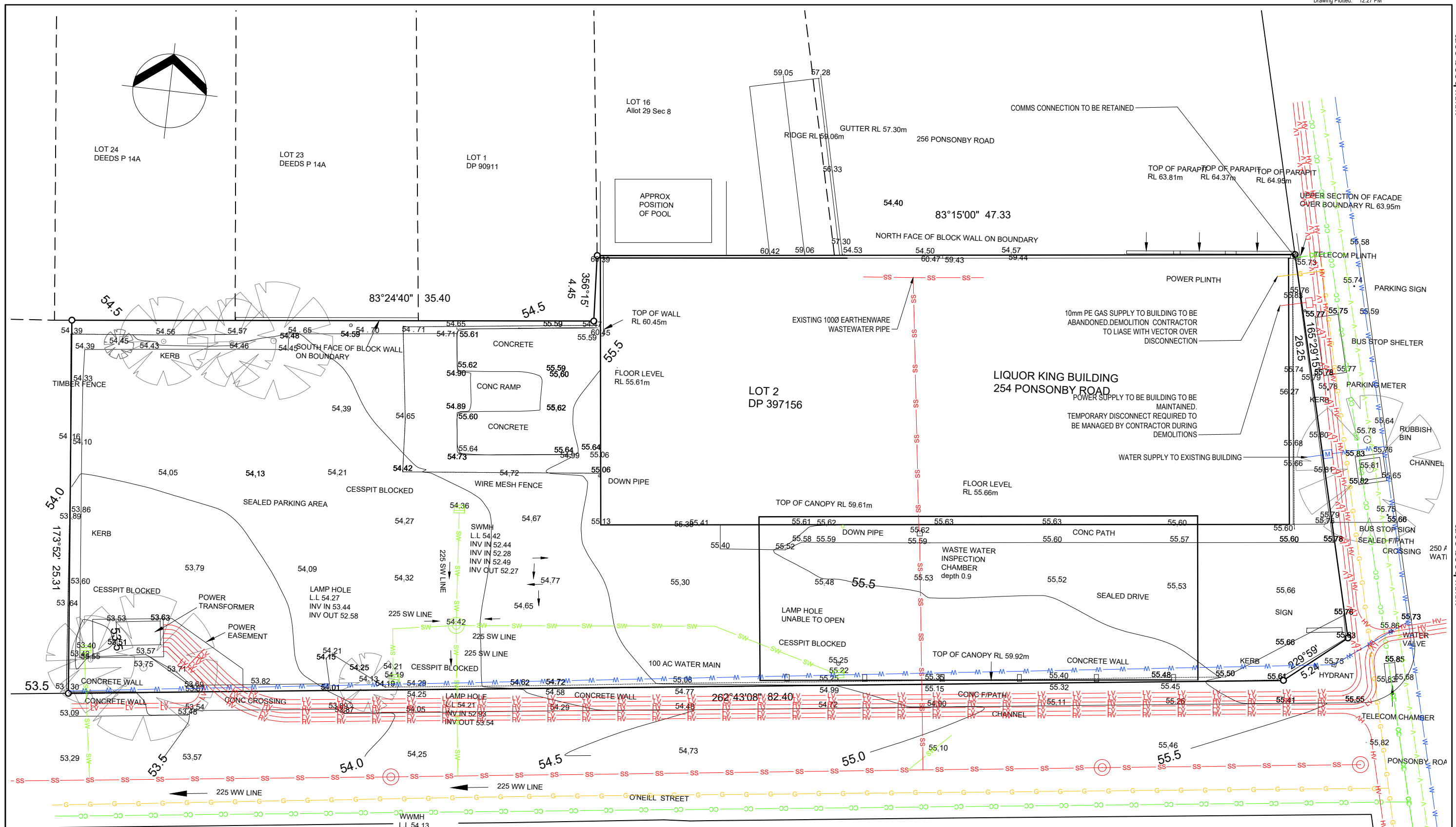
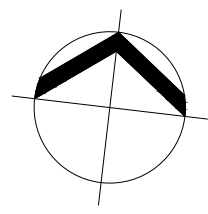
* Refer to Revision 1 for Original Signature

Client: **AUCKLAND COUNCIL**

Project: **254 PONSONBY ROAD CIVIC SPACE**

Title: **TYP SECTION VIEWS**

Discipline	STRUCTURAL
Drawing No.	3127486-SE-K-003
Rev.	A



LEGEND

- STORMWATER CATCHPIT
- STORMWATER MANHOLE
- STORMWATER PIPE
- WASTEWATER MANHOLE
- WASTEWATER PIPE
- WATER MAIN
- WATER METER
- GAS MAIN
- LOW VOLTAGE
- HIGH VOLTAGE
- VECTOR COMMS
- CHORUS

PRELIMINARY
NOT FOR CONSTRUCTION

No.	Revision	By	Chk	Appd	Date
*	UNDER REVISION				

Original Scale (A1)	Design	SB	19.09.2023	Approved For Construction*
1:125	Drawn	CAD	19.09.2023	
Reduced Scale (A3)	Dig. Verifier	JAR	19.09.2023	
1:250	Dig. Check	JR	19.09.2023	Date



Client: AUCKLAND COUNCIL

Project: 254 PONSONBY ROAD CIVIC SPACE

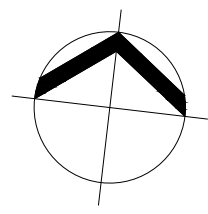
Title: EXISTING SITE AND SERVICES

Discipline: CIVIL

Drawing No.: 3127486-CE-001

Rev: A

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EXISTING TREES TO BE PROTECTED AT ALL TIMES DURING WORKS

REMOVE ASPHALT SURFACING TO A DEPTH OF 30mm

DEMOLISH EXISTING CONCRETE RAMP

LOCATE PIPE OUTLET THROUGH SLAB PLUG AND PROTECT THROUGH DEMOLITIONS

DEMOLISH EXISTING BLOCK WALL TO A HEIGHT OF 2m. REFER STRUCTURAL DRAWINGS FOR DETAILS

EXISTING BUILDING STRUCTURE TO BE DEMOLISHED REFER STRUCTURAL AND ARCHITECTURAL DRAWINGS¹ EXISTING 125mm THICK SLAB TO BE RETAINED

EXISTING 1000 EARTHENWARE WASTEWATER PIPE TO BE RETAINED

DEMOLISH EXISTING KERB

DEMOLISH CONCRETE PATH. RETAIN SLABS FOR CRAZY PAVING FEATURE REFER LANDSCAPE ARCHITECTS DRAWINGS

CAP/ISOLATE WATER SUPPLY FOR FUTURE RE-USE

DEMOLISH EXISTING CATCH PIT

GROUT FILL ABANDONED STORMWATER LINES

DEMOLISH EXISTING CATCHPIT

DEMOLISH EXISTING MANHOLE

GROUT FILL ABANDONED STORMWATER LINES

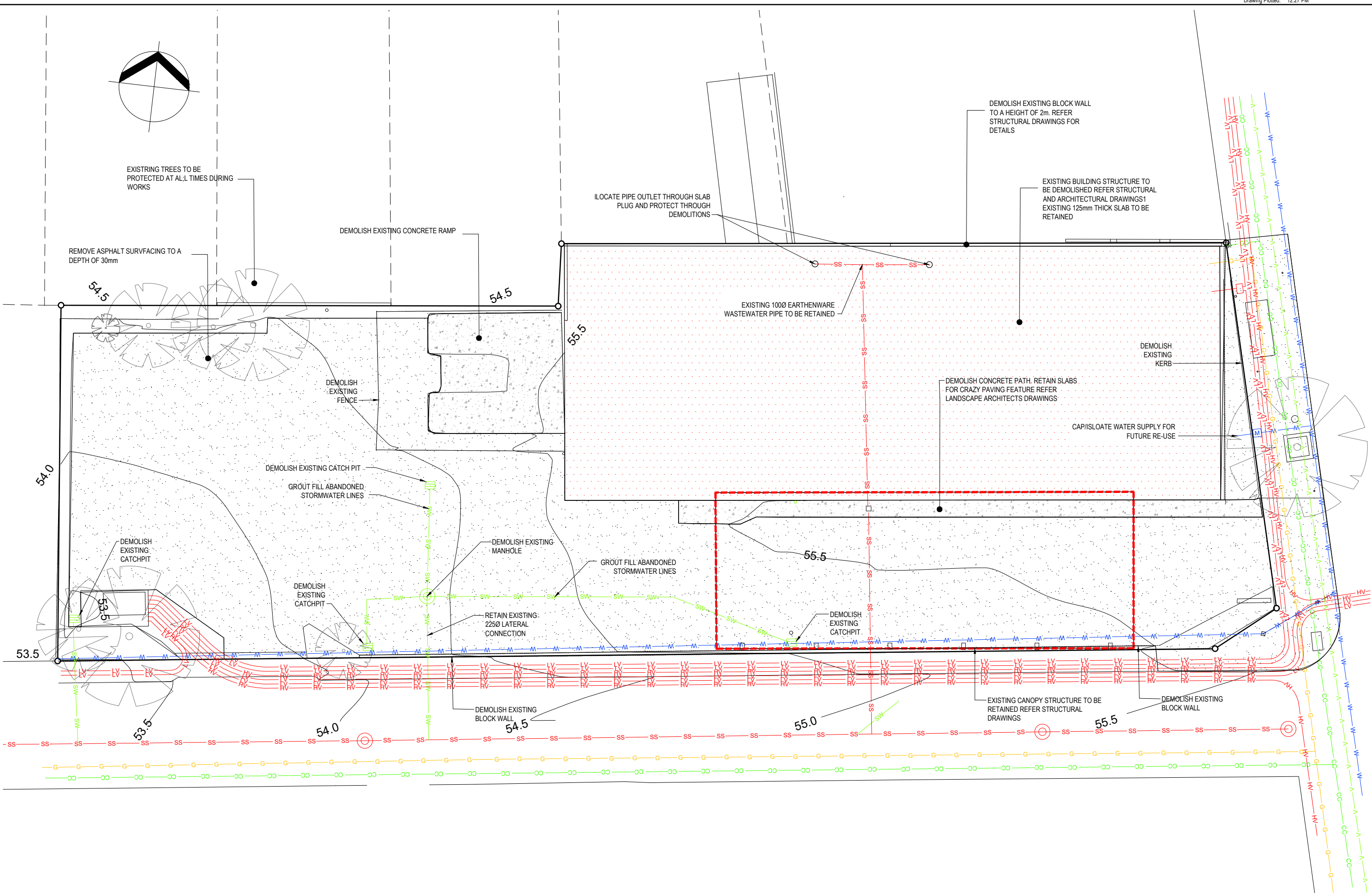
RETAIN EXISTING 2250 LATERAL CONNECTION

DEMOLISH EXISTING CATCHPIT

DEMOLISH EXISTING BLOCK WALL

EXISTING CANOPY STRUCTURE TO BE RETAINED REFER STRUCTURAL DRAWINGS

DEMOLISH EXISTING BLOCK WALL



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No.	Revision	By	Chk	Appd	Date
*	UNDER REVISION				

Original Scale (A1)	Design	SB	19.09.2023	Approved For Construction*
1:125 A1	Drawn	CAD	19.09.2023	
Reduced Scale (A3)	Dig Verifier	JAR	19.09.2023	
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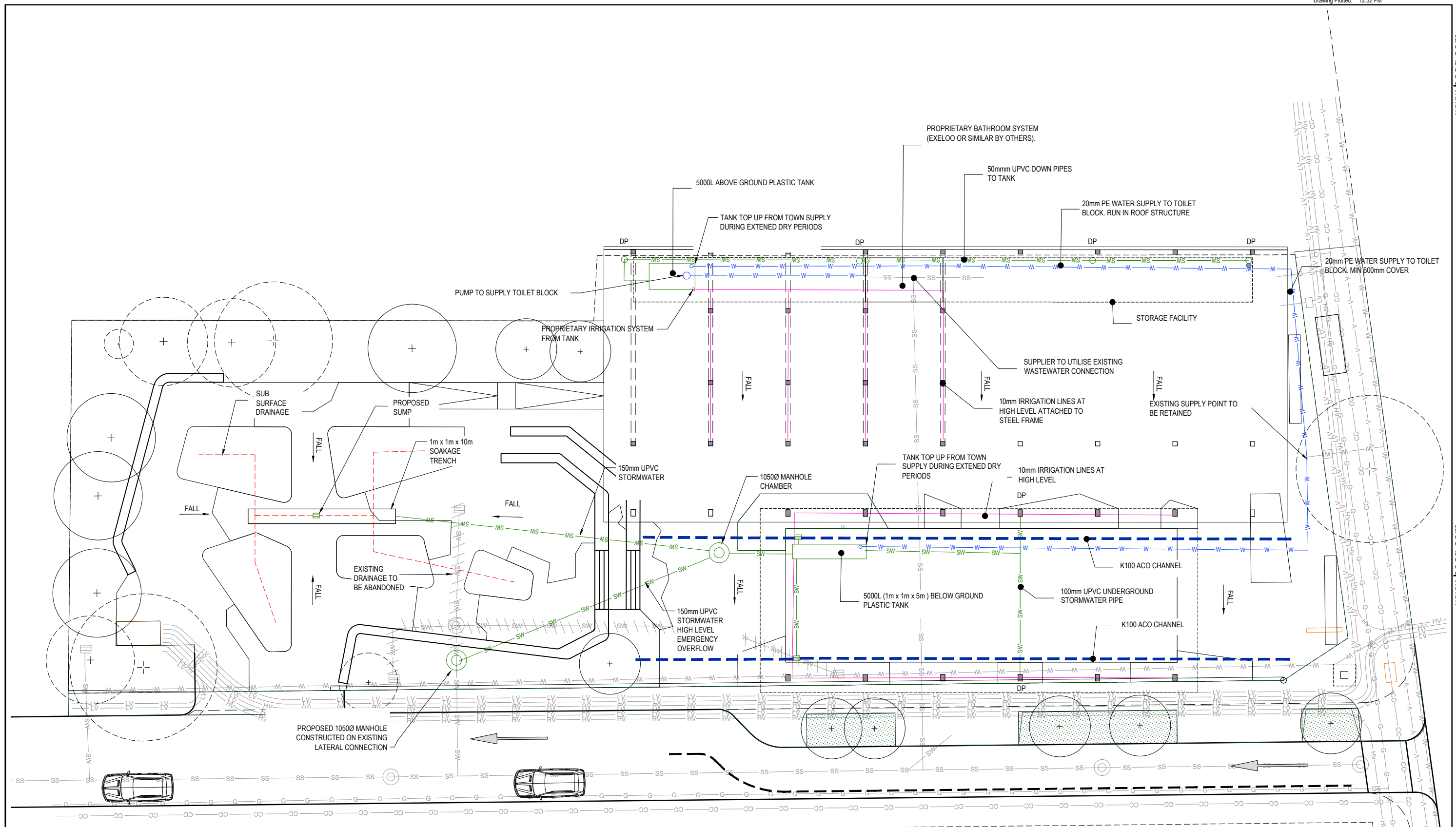


Client: AUCKLAND COUNCIL




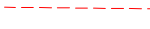



Project: 254 PONSONBY ROAD

Title: SITE ENABLING AND DEMOLITIONS

Discipline: CIVIL
Drawing No. 3127486-CE-002
Rev. A



LEGEND

-  PROPOSED CATCHPIT
-  PROPOSED STORMWATER MANHOLE
-  STORMWATER PIPE
-  SUBSOIL DRAIN
-  PROPOSED 20mm PE WATER SUPPLY
-  10mm IRRIGATION PROPRIETARY SYSTEM
-  K100 ACO CHANNEL AND SUMP

PRELIMINARY
NOT FOR CONSTRUCTION

No.	Revision	By	Chk	Appd	Date
*	UNDER REVISION				

Original Scale (A1)	Design	SB	19.09.2023	Approved For Construction*
1:125 A1	Drawn	CAD	19.09.2023	
Reduced Scale (A3)	Dig Verifier	JAR	19.09.2023	Date
1:250 A3	Dig Check	CAD	19.9.2023	

* Refer to Revision 1 for Original Signature





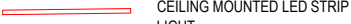


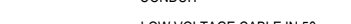

Client: AUCKLAND COUNCIL

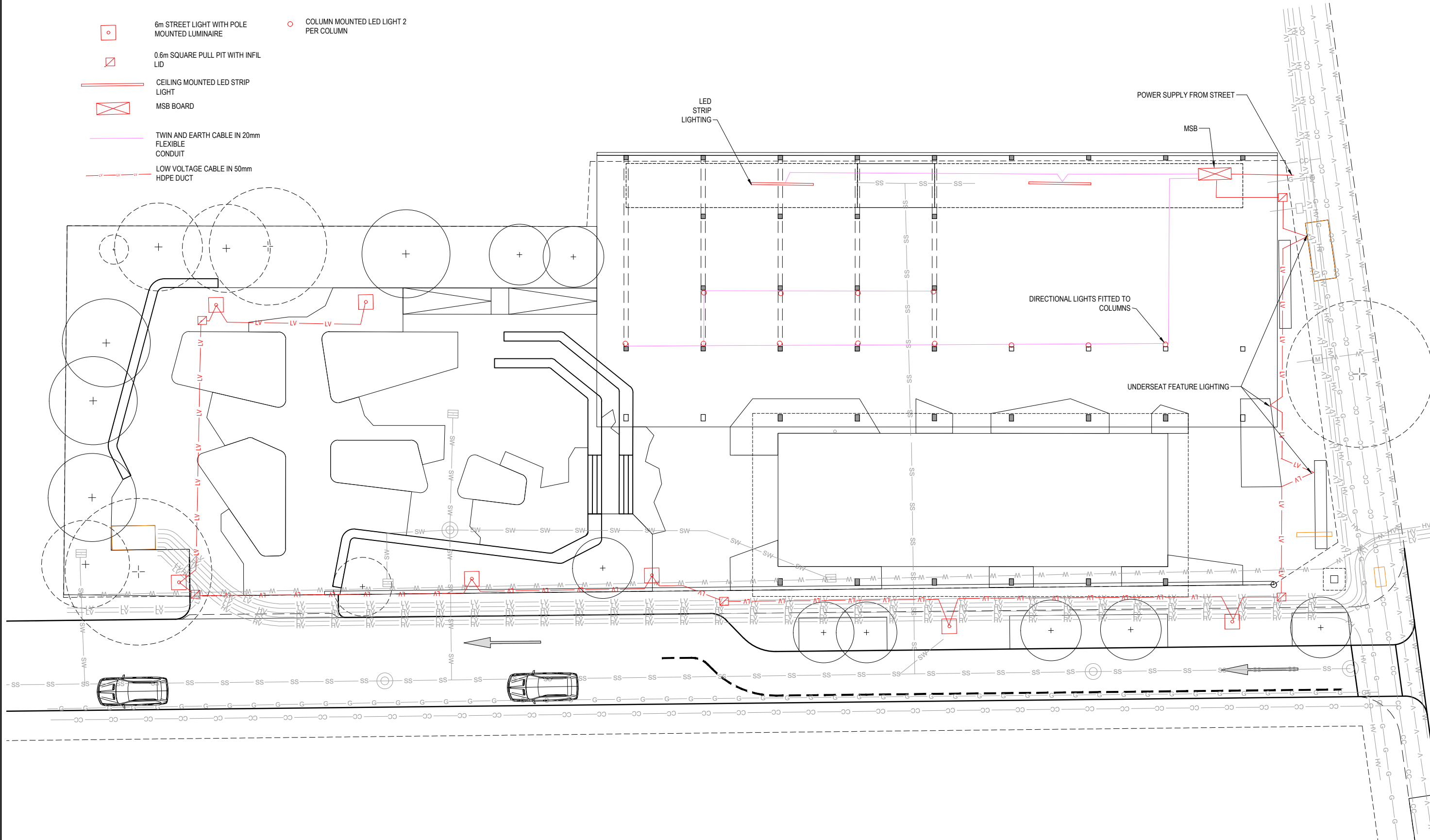
Project: 254 PONSONBY ROAD

Title: PROPOSED SERVICES THREE WATERS

Discipline: CIVIL
Drawing No: 3127486-CE-003
Rev: A

LEGEND

-  6m STREET LIGHT WITH POLE MOUNTED LUMINAIRE
-  0.6m SQUARE PULL PIT WITH INFIL LID
-  CEILING MOUNTED LED STRIP LIGHT
-  MSB BOARD
-  TWIN AND EARTH CABLE IN 20mm FLEXIBLE CONDUIT
-  LOW VOLTAGE CABLE IN 50mm HDPE DUCT
-  COLUMN MOUNTED LED LIGHT 2 PER COLUMN



PRELIMINARY
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No.	Revision	By	Chk	Appd	Date
*	UNDER REVISION				

Original Scale (A1)	Design	SB	19.09.2023	Approved For Construction*
1:125 A1	Drawn	CAD	19.09.2023	
Reduced Scale (A3)	Dig Verifier	JAR	19.09.2023	Date
1:250 A3	Dig Check	CAD	19.9.2023	
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



Client: AUCKLAND COUNCIL

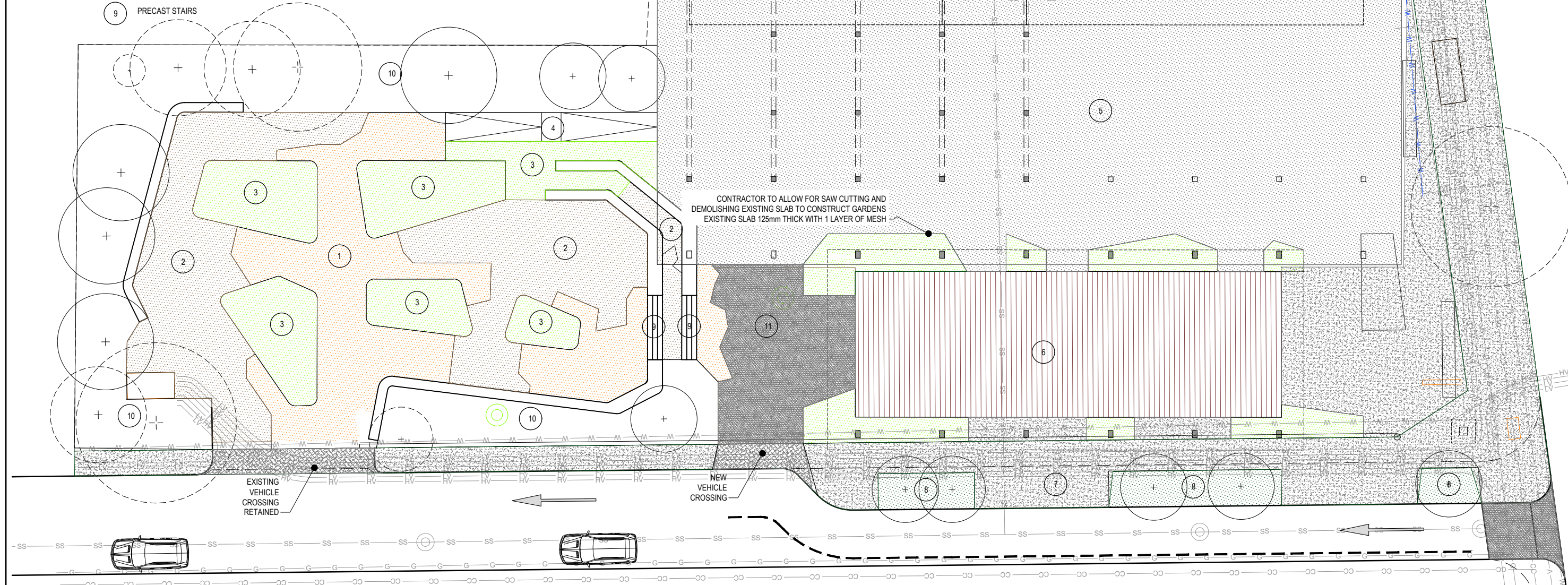
Project: 254 PONSONBY ROAD

Title: PROPOSED SERVICES POWER AND COMMS

Discipline: CIVIL
Drawing No. 3127486-CE-004
Rev. A

LEGEND

-  1 CRAZY PAVING
-  2 PERMEABLE PAVING
-  3 GARDEN BED
-  4 ACCESSIBLE CONCRETE RAMP
-  5 EXISTING SLAB WITH 40MPa TOPPING
-  6 PROPOSED DECK
-  7 EXPOSED AGGREGATE CONCRETE FOOTPATH TYPE 1 150mm 30MPA CONCRETE
-  8 STREET GARDEN BED
-  9 PRECAST STAIRS
-  10 LANDSCAPE AREAS REFER ARCHITECTS DRAWINGS
-  11 HEAVY DUTY TRAFFICABLE CONCRETE PAVEMENT



PRELIMINARY
NOT FOR CONSTRUCTION

No.	Revision	By	Chk	Appd	Date
*	UNDER REVISION				

Original Scale (A1)	Design	SB	19.09.2023	Approved For Construction*
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1:250 A3	Dwg Check	CAD	19.09.2023	Date
	* Refer to Revision 1 for Original Signature			

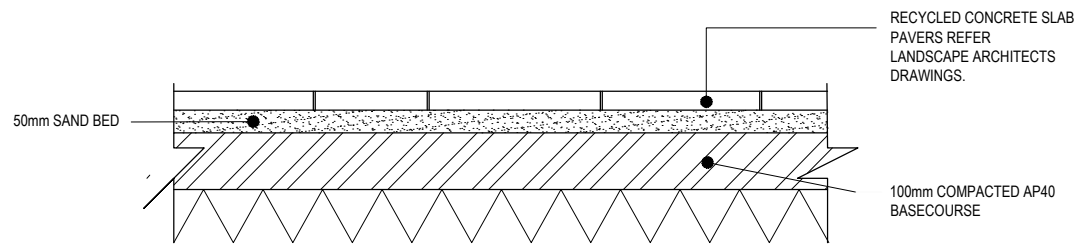


Client: AUCKLAND COUNCIL

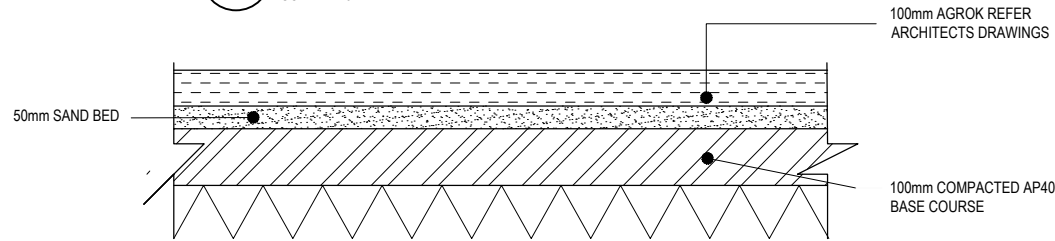
Project: 254 PONSONBY ROAD

Title: CIVIL WORKS AND PAVEMENT

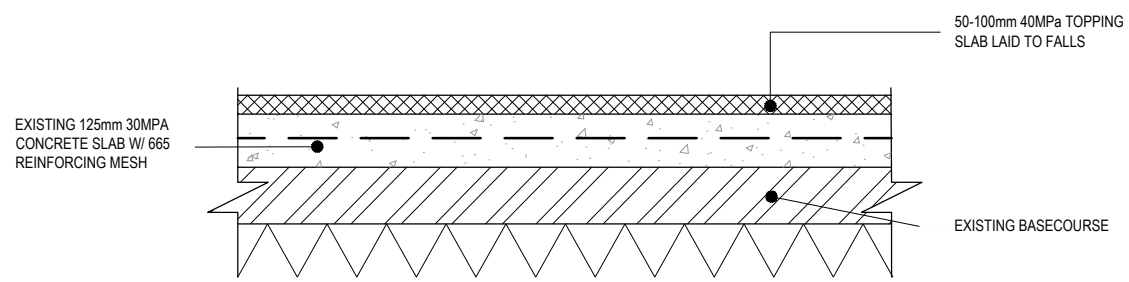
Discipline: CIVIL
Drawing No: 3127486-CE-005
Rev: A



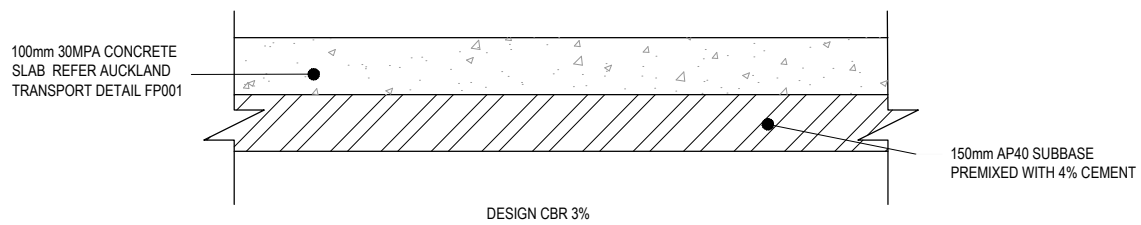
1 CRAZY PAVING DETAILS
SCALE 1:10



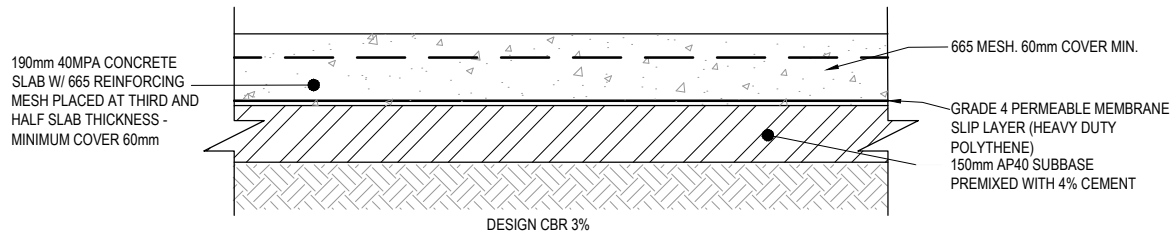
2 PERMEABLE PAVING DETAILS
SCALE 1:10



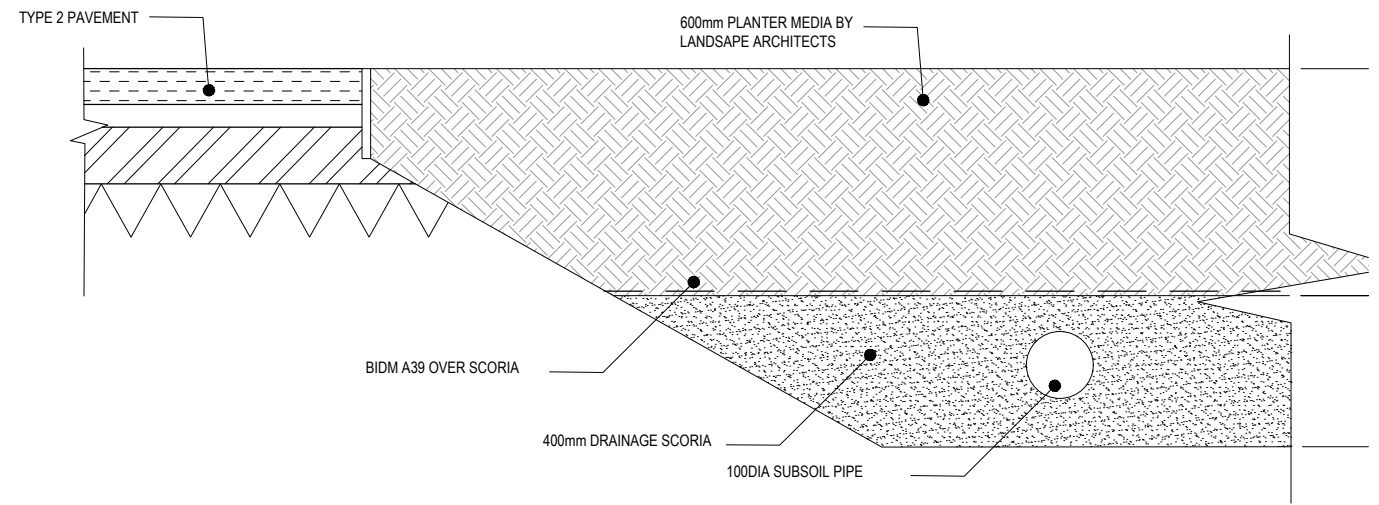
5 EXISTING SLAB AND TOPPING SLAB
SCALE 1:10



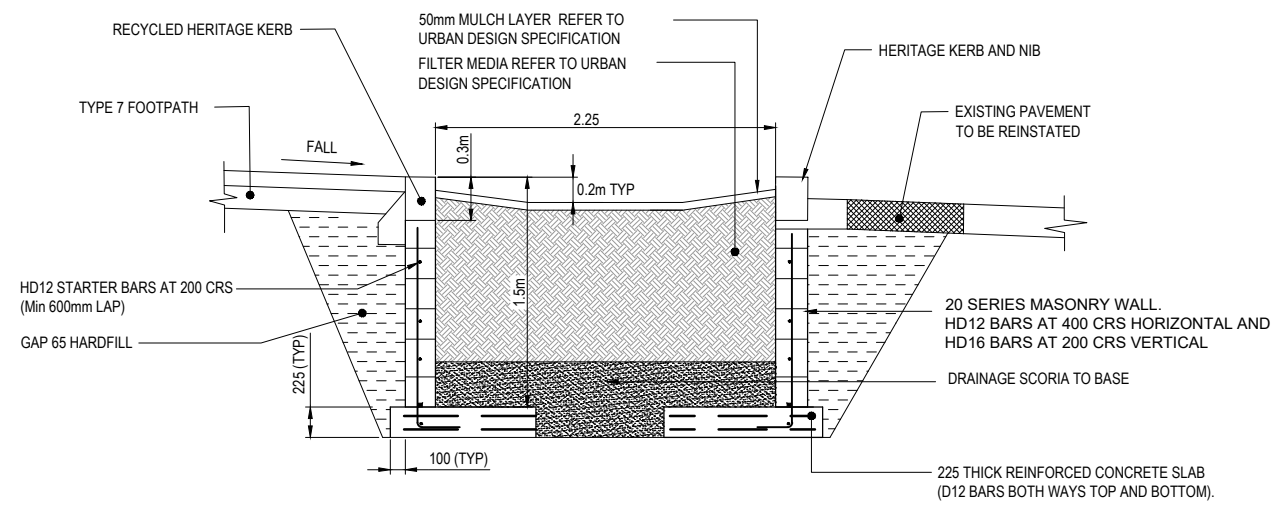
7 STANDARD FOOTPATH DETAIL
SCALE 1:10



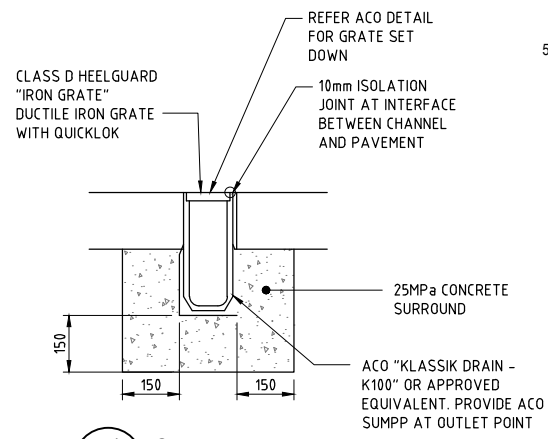
10 VEHICLE CROSSING ON FOOTPATH AND TRAFFICABLE PAVEMENT
SCALE 1:10



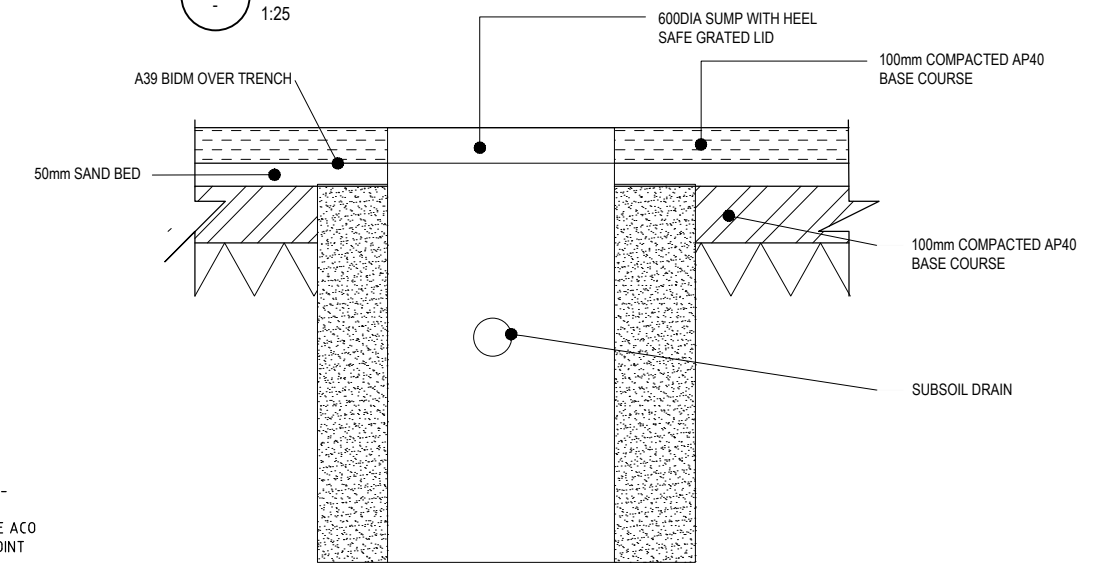
3 GARDEN BED DETAIL
SCALE 1:10



8 STREET GARDEN BED DETAIL
SCALE 1:25



D1 GRATED DRAIN
SCALE 1:10 AT A1



D2 SOCKAGE TRENCH DETAILS
SCALE 1:10

PRELIMINARY
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No.	Revision	By	Chk	Appd	Date
*	UNDER REVISION				

Original Scale (A1)	Design	SB	19.09.2023	Approved For Construction*
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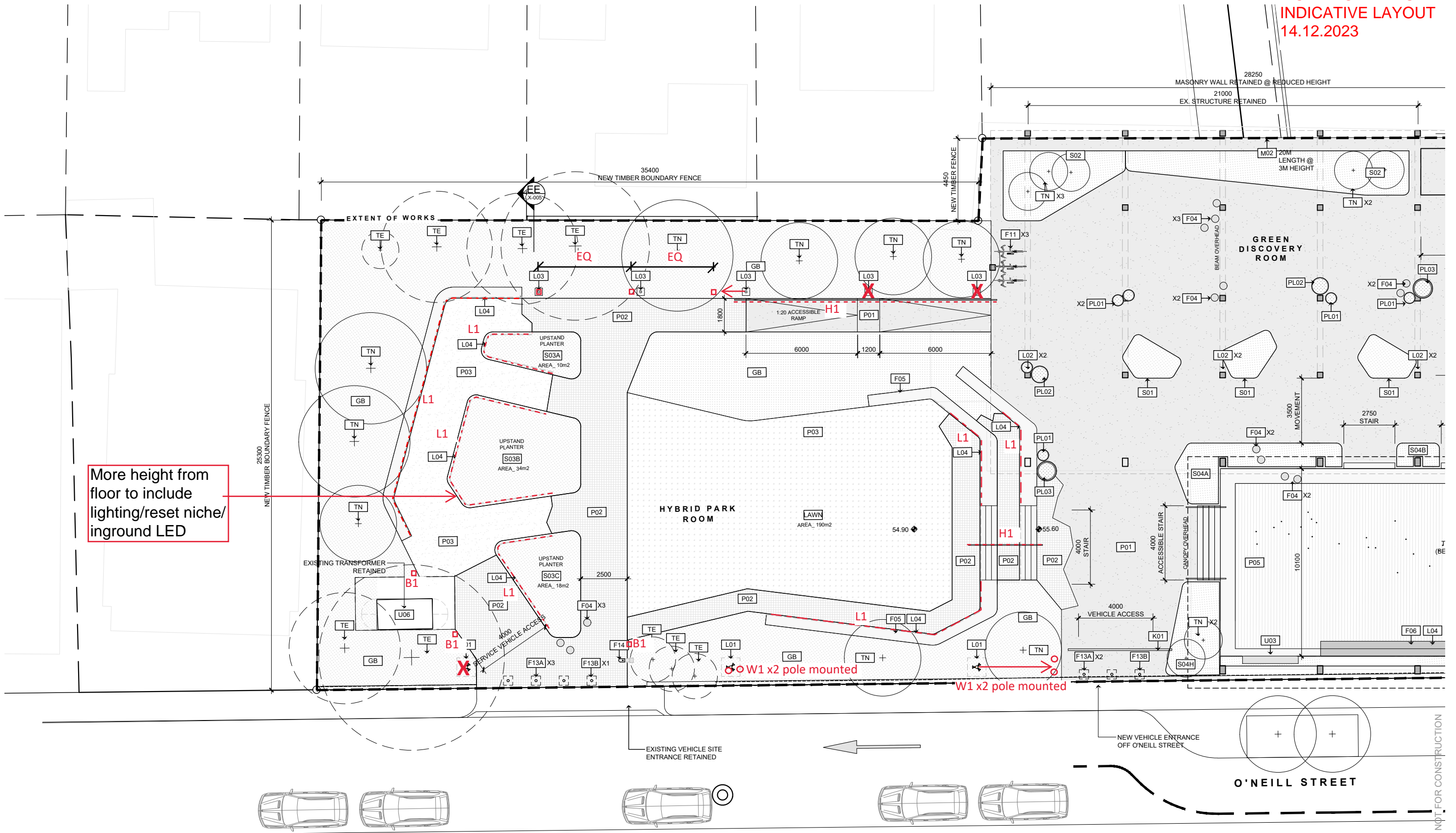


Client: AUCKLAND COUNCIL

Project: 254 PONSONBY ROAD

Title: CIVIL WORKS DETAILS

Discipline: CIVIL
Drawing No: 3127486-CE-006
Rev: A



More height from floor to include lighting/reset niche/inground LED

DRAFT

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REVISIONS

A	24.10.2023	PRELIMINARY DESIGN
B	08.11.2023	DETAILED DESIGN - FOR INFORMATION
C	07.12.2023	DETAILED DESIGN - 50% PROGRESS ISSUE

PAVING LEGEND

	P01 - EXPOSED AGGREGATE CONCRETE
	P02 - COMPACTED AGGROK
	P03 - PAVED ACCESSIBLE SURFACE

LIGHTING LEGEND

	L01 - 6M HEIGHT PEDESTRIAN POLE
--	---------------------------------

	L02 - WALL MOUNT LED LUMINAIRE
	L03 - IN-GROUND LED UPLIGHT
	L04 - LINEAR LED STRIP LIGHT

PLANTING LEGEND

	TN - TREE NEW - PROPOSED
	TE - TREE EXISTING - RETAINED

FURNITURE & FIXTURES LEGEND

	F01 - TIMBER BENCH - TYPE 1
	F02 - TIMBER BENCH - TYPE 2
	F04 - PERCHABLE SEATS
	F10 - REMOVABLE BOLLARD
	S01 - STEEL RAISED PLANTER SUITE



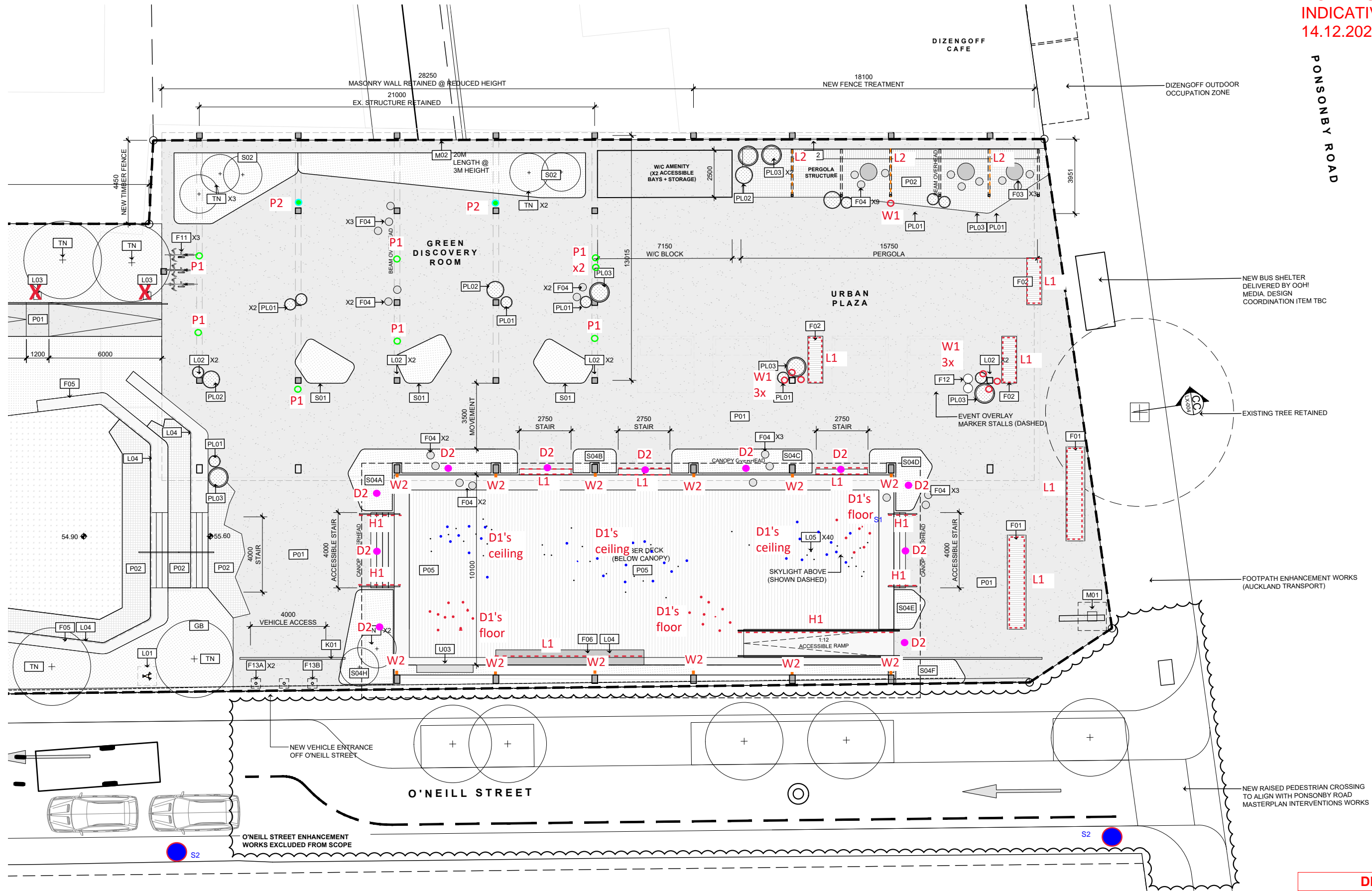
LAND LAB

CLIENT: AUCKLAND COUNCIL
PROJECT NO: 2002
SCALE: 1:100 (A1) 1:200 (A3)
DRAWN BY: CHECKED: SHG
STAGE: DETAILED DESIGN
PO Box 91392 Victoria Street West Auckland 1010
t: (64 9) 379 5805
e: studio@landlab.co.nz
www.landlab.co.nz

PROJECT: PONSONBY PLAZA
TĀMAKI MAKAURAU
DRAWING: GENERAL ARRANGEMENT 01
REVISION: C
DRAWING NO: LA-101

NOT FOR CONSTRUCTION

PONSONBY ROAD



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REVISIONS

A	24.10.2023	PRELIMINARY DESIGN
B	08.11.2023	DETAILED DESIGN - FOR INFORMATION
C	07.12.2023	DETAILED DESIGN - 50% PROGRESS ISSUE

PAVING LEGEND

[P01]	P01 - EXPOSED AGGREGATE CONCRETE
[P02]	P02 - COMPACTED AGGROK
[P03]	P03 - PAVED ACCESSIBLE SURFACE

LIGHTING LEGEND

[L01]	6M HEIGHT PEDESTRIAN POLE
-------	---------------------------

[L02]	WALL MOUNT LED LUMINAIRE
[L03]	IN-GROUND LED UPLIGHT
[L04]	LINEAR LED STRIP LIGHT

PLANTING LEGEND

[TN]	TREE NEW - PROPOSED
[TE]	TREE EXISTING - RETAINED

FURNITURE & FIXTURES LEGEND

[F01]	TIMBER BENCH - TYPE 1
[F02]	TIMBER BENCH - TYPE 2
[F04]	PERCHABLE SEATS
[F10]	REMOVABLE BOLLARD
[S01]	STEEL RAISED PLANTER SUITE



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CLIENT: **AUCKLAND COUNCIL**
 PROJECT NO: **2002**
 SCALE: **1:100 (A1) 1:200 (A3)**
 DRAWN BY: _____ CHECKED: **SHG**
 STAGE: **DETAILED DESIGN**

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PROJECT: **PONSONBY PLAZA
TĀMAKI MAKAURAU**


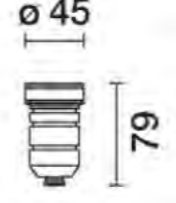

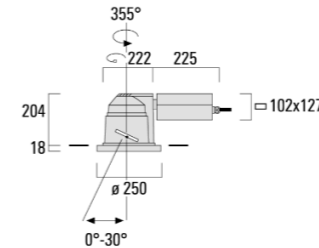

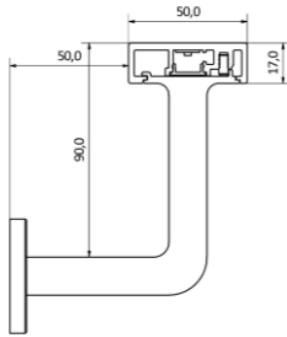

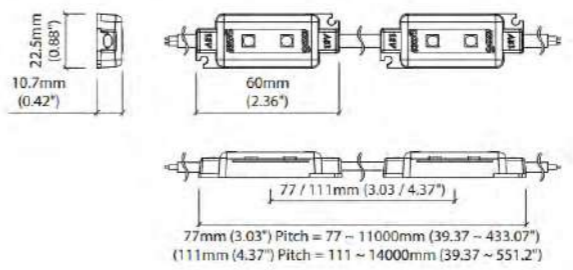
DRAWING: **GENERAL ARRANGEMENT 02**

REVISION: **C** DRAWING NO: **LA-102**


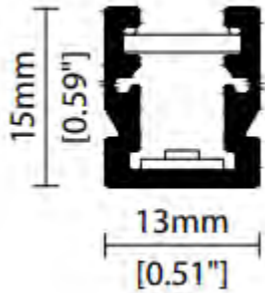



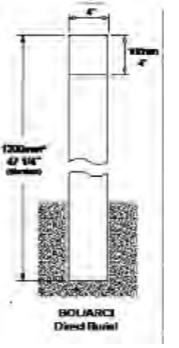

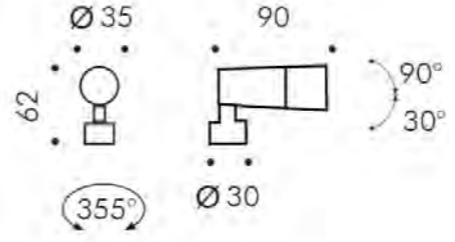
PONSONBY PARK - C21F LUMINAIRE SCHEDULE

9 FEBRUARY 2024 REV A - DETAILED DESIGN

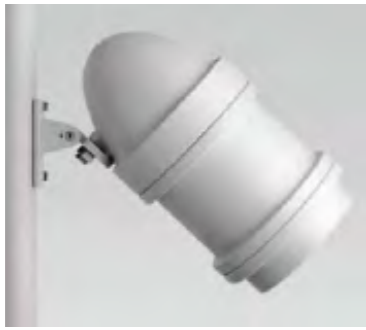
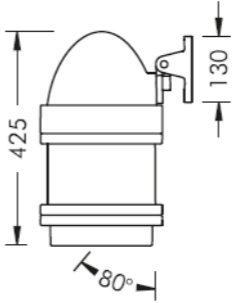

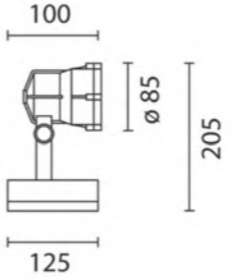

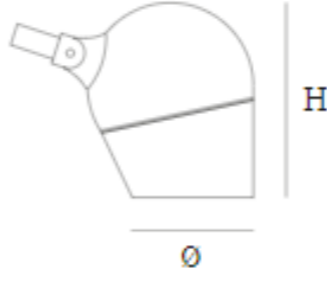

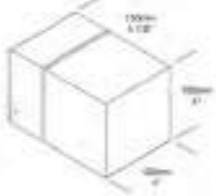
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TYPE	PHOTO	MANUFACTURER (SUPPLIER)	MODEL	LIGHT SOURCE	DESCRIPTION	CONTROL GEAR	DIMENSIONS (mm) WEIGHT (kg)	COMMENTS	REV
D1		Iguzzini	ER87	LED, 2 W 2700K 760 lm/m CRI >90	Ceiling / floor recessed, diffused luminaire, IP68	Electronic PSU/Driver (Manufacturer's Standard)		Location : Canopy, timber deck	
D2		We-ef	DOC240-GB LED	LED, 21 W 2700K 2183 lm CRI >90	Ceiling recessed, gimbal mounted, IP66			Location : Canopy,	
H1		Offspring Profiles	Richie Rail 17	LED, 7 W/m 2700K 760 lm/m CRI >90	Handrail recessed LED strip, IP65	Electronic PSU/Driver (Manufacturer's Standard) DALI Dimmable (remote)		Handrails	
L1		KKDC	Duo Luna	LED, 7 W/m 2700K ≤65lm/W CRI >90	Flexible light source modules Surface mounted, IP65	Electronic PSU/Driver (Manufacturer's Standard) DALI Dimmable (remote)		Mounting Situation TBC at planters / benches / steps	

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L2		KKDC	Mimi Glow R020	LED, 20 W/m 2700K 586lm/m 29.3 lm/W CRI >90	Diffused LED profile, IP67	Electronic PSU/Driver (Manufacturer's Standard) DALI Dimmable (remote)	 Length TBC	Pergola structure	
B1		Selux	Olivio Poller Piccolo SX97114-9	LED, 19 W, 2700K 1500lm, CRI >80	Bollard, asymmetric, IP65		 H Light point height : 825 mm Height H: 1000 mm Diameter Ø: 150 mm Outreach : 255 mm		
B1 Option		Hunza	Arch Bollard I-Beam Light	LED, 25 W, 2700K 3000lm, CRI >80	Bollard, asymmetric, IP66				
P1		Simes			Straight pole. Circular profile. 8m height. To come with internally lit artwork at top. RGB colour-change lighting to have remote DMX driver located in nearest adjacent electrical panel.			Green Discovery Room	

DRAFT

P2		Meyer	Nighspot Gobo Projector					Green Discovery Room	
S1									
S2									
W1		Iguzzini	E201	LED, 11 W 3000K 552 lm CRI >80	Surface mounted spotlight, IP66			Urban Plaza	
W1 Option		Selux		LED, 11 W 3000K 552 lm CRI >80			 Height H: 178 mm Diameter Ø: 106 mm Outreach : 166 mm	Urban Plaza	
W2		Hunza	W/ARCS	LED, 11 W 3000K 552 lm CRI >80	Wall mounted, downwards illumination, IP66			Timber Deck	

1. All luminaires shall come complete with the suppliers recommended control gear and shall be fully DALI compliant. Any deviations will need to be submitted for Engineer's approval.
2. This document is to be read in conjunction with the specification, drawings and all other contractual information.
3. All pictures and luminaire dimensions are illustrative only.

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4. The contractor shall submit a technical submission for all proposed luminaries, coordinated with the other trades, to confirm the requirements of this document and the specification are complied with.
5. The locations shown are indicative and are not exhaustive. These are only intended to be a guide and shall be confirmed on site, and with architectural drawings.
6. Luminaire finish colours vary based on architectural finishes and are proposed to be as manufacturers standard range except where denoted to the contrary. Contractor shall ensure that the luminaire finish colours are coordinated with architectural finishes schedule. Contractor shall seek clarification anywhere luminaire finish colours are unclear. The Contractor shall confirm the colour of all luminaires at the time of technical submission stage.
7. All lengths indicated are indicative and shall be confirmed via a site measure or through coordinated contractors shop drawing process'. Do not manufacture from the lengths advised herein and allow a further 3% variance for costing purposes.
8. Site measure all linear lengths required prior to ordering linear LED equipment and reconfirm lengths with architect and engineer.
9. Contractor to provide samples of all indicated lighting equipment for approval by design team as part of the technical submission process.
10. Working mock-ups to ensure buildability and practicality of lighting details are required prior to procurement for:
 - L1 Under-bench lighting

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MALTBYS

DEFINING COSTS · MANAGING RISK · DELIVERING RESULTS

254 PONSONBY RD CIVIC PARK 50% DD

E3 DETAILED DESIGN 50% ESTIMATE R1

January 2024

MALTBYS

Author

M.N.

QA

CT

Project Lead

M.N.

Director

PN

DEFINING COSTS, MANAGING RISK AND DELIVERING
RESULTS THAT ADD VALUE FOR OUR CLIENTS

AUCKLAND | HAMILTON | NAPIER | WELLINGTON | QUEENSTOWN

E3 DETAILED DESIGN 50% ESTIMATE R1

ESTIMATE ELEMENTAL SUMMARY

Exclusions & Clarifications

Enabling works (Separate Contract)

Council Contingency on enabling works - 15%

ENABLING WORKS SUB-TOTAL

Demolition Works

Urban Plaza & Green Discovery Room

Hybrid Park Room

Public Toilets

Urban Canopy

Traffic Management costs

Water retention and re-use systems

BUILD WORKS SUB-TOTAL

Design & operation costs (Provided by Client)

Council Contingency on main works - 15%

MAIN WORKS SUB-TOTAL

Work on O'Neill Street

Professional Fees (Design & Project Management) - 20%

Client Contingency - 20%

O'NEIL STREET SUB-TOTAL

OVERALL SUB-TOTAL

Pre Tender Escalation at 2.3% (Q4 2023 to Q2 2024)

Contract Escalation - Excluded as per Client request

TOTAL E3 DETAILED DESIGN 50% ESTIMATE R1 \$

All figures are exclusive of GST unless specifically stated otherwise

Unit	Qty	Rate	Cost
			370,000
			56,000
			426,000
			119,000
			1,219,000
			814,000
			244,000
			1,137,000
			94,000
			48,000
			3,675,000
			750,000
			552,000
			4,977,000
			247,000
			50,000
			60,000
			357,000
			5,760,000
			134,000
			5,894,000

E3 DETAILED DESIGN 50% ESTIMATE R1

Exclusions & Clarifications

EXCLUSIONS

- 1 The following items are excluded from the estimate:
 - Goods & Services Tax (GST)
 - Development levies
 - Council Financial, Reserves and Development Contributions
 - Diversion of existing services
 - Funding & Legal costs
 - Professional fees, other than the amounts listed in Design & operation costs
 - Building consents fees
 - Resource consent fees
 - Loose furniture
 - Unforeseen ground conditions
 - Excavation in rock
 - Perched groundwater risk
 - No allowance to works outside of site boundary unless noted otherwise
 - Any allowance for potential future surrounding road extensions, O'Neill street etc.
 - No upgrade to existing surrounding infrastructure allowed in this estimate
 - Any client direct costs
 - Contaminated soil handling
 - Any allowance for new playgrounds
 - Bus Shelter works
 - Sun shades
 - Decorative finishes to slabs
 - Informal play areas
 - Barrier arms to site entrances
 - Cultural design elements other than the verticle marker & Manawhenua Provisional Sum
 - Green-roofs
 - Skylights to Canopy
 - Kiosks
 - Decorative pavers
 - Ground-plane expressions
 - CCTV
 - Solar Panels
 - Fencing to existing transformer

Unit	Qty	Rate	Cost
NOTE			

E3 DETAILED DESIGN 50% ESTIMATE R1

CLARIFICATIONS & ASSUMPTIONS

- 2 With regard to the information provided we wish to clarify the following:
- This estimate is based on current market prices and will be subject to construction cost inflation
 - This estimate allows for enabling works and main works as it is expected to be separate contracts.
 - No adverse ground conditions have been assumed in the pricing
 - This estimate allows to fully retain the canopy structure
 - Asbestos removal is to be part of the enabling works contract
 - No allowance to fence of the existing transformer
 - We have a provisional sum of \$30K for Manawhenua items
 - We have a provisional sum of \$20K for Traffic Management for the enabling works (Level 1 shoulder closure)
 - We have a provisional sum of \$70K for Traffic Management to Ponsonby Rd & O'Neill Street (Level 1 shoulder closure)
 - This estimate does not allow for works outside the boundary line
 - We note that further works extending into either street (Ponsonby or O'Neil) will require further traffic management. The current allowance does not take this into account
 - We have assumed there will be lighting to the ponsonby plaza signage above the canopy
 - We have assumed there will be 4 No. manholes & 4 No. catchpits for the whole site as per design meeting on 23.01.2024
 - We have included the Preliminary costs for the O'Neill street works within this estimate, we note that these will require updated drawings and an updated estimate for further accuracy
 - We have allowed for client contingency at 15%, however 20% is allowed for on the O'Neill street works due to it being at Preliminary design level

SPECIFIC BUDGET RISKS

- 3 The following are considered to be the most potential risk to the budget:-
- Design Development
 - Structural design
 - Material Availability
 - Environmental issues
 - Potential discovery of unsuitable ground conditions following detailed geotechnical survey
 - Escalation
 - Traffic Management

Unit	Qty	Rate	Cost
NOTE			
NOTE			

E3 DETAILED DESIGN 50% ESTIMATE R1

BASIS OF ESTIMATE

- 4 This estimate has been based on the following documentation:
- LandLab; Landscape Architectural Drawings, 254 Ponsonby Road Civic Space, Detailed Design - 50% Progress Issue dated 07.12.2023
 - LandLab; Landscape Architectural Drawings, 254 Ponsonby Road Civic Space, Lighting markup indicative layout dated 14.12.2023
 - LandLab; Landscape Architectural Drawings, 254 Ponsonby Road Civic Space, Enabling works package dated 22.11.2023
 - Landlab, Landscape Architectural Drawings, Ponsonby Plaza W/C Block Design Guideline dated 23.11.2023
 - Landlab, Landscape Architectural Drawings, Ponsonby Plaza VE Investigations dated 30.11.2023
 - Beca, Civil drawings, 254 Ponsonby Road Civic Space Existing site and services dated 21.11.2023
 - Beca, Ponsonby Park Development, Structural concepts draft & Beca answers to Civic Q&A - August 2023
 - Toilet block quote: Exeloo, quote from Josh Hunt dated 21.12.2023
 - Toilet block quote: Permaloo, quote from Ryan Smith dated 7.12.2023
 - Pergola quote: Team Green Projects, quote from Jacobus Janse can Rensburg dated 21.12.2023
 - Signage quote: Big ideas, email by Jack Teoh dated 21.12.2023 & Signwise quote 7975 #1 dated 10/01/2024
 - Traffic Management quotes: Men at work, quote from Lorna Mooney dated 17.11.2023
 - Paving quote: Design Source, quote from Andrenna Boylan dated 21.12.2023
 - Design & Cost Review meeting dated 23.01.2024

GFA

- 5 Urban Plaza & Green Discover Room Area
- 6 Hybrid Park Room Area
- 7 Urban Canopy Area
- 8 Total

Unit	Qty	Rate	Cost
NOTE			
m2	1,021		
m2	952		
m2	370		
m2	2,343		
TOTAL EXCLUSIONS & CLARIFICATIONS \$			0.00

E3 DETAILED DESIGN 50% ESTIMATE R1

Enabling works (Separate Contract)

Enabling

9 Enabling works; Highest tenderer submission

Traffic Management

10 Provisional sum for Traffic Management

On costs (included in Tenderers Submission)

11 Preliminary & General - 14%

12 Margin - 6%

13 Design & Estimating Contingency - 10%

TOTAL ENABLING WORKS (SEPARATE CONTRACT) \$ 370,000.00

Unit	Qty	Rate	Cost
Sum	1	350,000.00	350,000.00
Item	1	20,000.00	20,000.00
Excl.			
Excl.			
Excl.			
TOTAL ENABLING WORKS (SEPARATE CONTRACT) \$			370,000.00

E3 DETAILED DESIGN 50% ESTIMATE R1**Demolition Works****Urban Plaza & Green Discovery Room**

	Unit	Qty	Rate	Cost
14 Demolish asphalt	m2	135	20.00	2,700.00
15 Allow to protect existing large tree on walkway	Item	1	1,500.00	1,500.00
16 Allow to carefully remove existing heritage kerbs and store on site (Storage costs to be allowed in P&G)	m	37	50.00	1,850.00

Hybrid Park Room

17 Note: Area site prep allowed for elsewhere	Note			
18 Demolish asphalt	m2	952	20.00	19,040.00
19 Protect low blockwork wall	m2	16	50.00	800.00
20 Demolish timber fence along boundary	m	61	50.00	3,050.00
21 Protect crossover with steel plate bridge	m2	16	100.00	1,600.00
22 Allow to protect trees along site boundary	No.	9	1,000.00	9,000.00
23 Allow for protection to existing electrical transformer	Item	1	1,500.00	1,500.00

Public Toilets

24 Note: No demolition works required	Note			
---------------------------------------	------	--	--	--

Urban Canopy

25 Note: No demolition works to the structure of the canopy.	Note			
26 Note: Footpath, kerb and crossover to remain	Note			
27 Protect existing downpipe suspended from canopy	No.	1	250.00	250.00
28 Demolish soffit to existing canopy, keeping the structural components intact	m2	347	50.00	17,350.00
29 Demolish metal roof covering to existing canopy, keeping the structural components intact	m2	347	30.00	10,410.00
30 Demolish fascia to existing canopy, keeping the structural components intact	m	83	50.00	4,150.00
31 Demolish timber roof framing from the area to receive structural modifications	m2	123	30.00	3,690.00
32 Protect low blockwork wall	m2	19	50.00	925.00
33 Strip and discard lining of existing gutter to receive new finish	m	30	40.00	1,200.00

E3 DETAILED DESIGN 50% ESTIMATE R1

- 34 Demolish asphalt to areas expected to receive a new finish
- 35 Demolish asphalt to ramp & piles beneath new timber decking
- 36 Demolish low height wall & footpath on O'Neill street for new vehicle entrance incl. making good

On costs

Preliminary & General - 14%

Margin - 6%

Design & Estimating Contingency - 10%

	Unit	Qty	Rate	Cost
	m2	149	20.00	2,980.00
	m2	26	20.00	520.00
	item	1	5,000.00	5,000.00
				13,485.00
				7,000.00
				11,000.00
TOTAL DEMOLITION WORKS \$				119,000.00

E3 DETAILED DESIGN 50% ESTIMATE R1

Urban Plaza & Green Discovery RoomSite Preparation

37 Allowance for new slab prep

m2 1,046 15.00 15,690.00

Substructure

38 New Concrete slab with exposed aggregate finish, laid to falls on top of existing slab

m2 1,046 300.00 313,800.00

Frame (As per Beca Structural Concept 21.08.2023)

39 Allowance to treat existing steel beams and columns

Item 1 17,000.00 17,000.00

40 250 UB portal frame between existing columns & beam of 1 bay

Item 1 9,000.00 9,000.00

41 Cross brace Rods between existing columns of 1 bay

Item 1 3,000.00 3,000.00

42 250 UB ties between existing columns of all bays - Option A1 in sketch

Item 1 33,000.00 33,000.00

External Park Furniture

43 5000 x 800mm wide hardwood timber lounge bench, with mild steel sub-frame

No. 2 12,000.00 24,000.00

44 2500 x 800mm wide hardwood timber lounge bench, with mild steel sub-frame

No. 3 6,000.00 18,000.00

45 1000 dia steel surface mounted table

No. 3 3,500.00 10,500.00

46 450 high x 360 diameter concrete sculptural stool

No. 22 1,500.00 33,000.00

47 Surface mounted cycle rack

No. 3 1,000.00 3,000.00

48 9000mm high vertical marker (incl. structure, lighting, design allowance and foundation)

Sum 1 70,000.00 70,000.00

49 Allowance for single rubbish bin

No. 1 800.00 800.00

50 Provisional Sum for Manawhenua items

Item 1 30,000.00 30,000.00

Sanitary Plumbing

51 Note: Drinking fountain allowed for in Hybrid Park Room

Note

52 Allowance for hose taps

No. 3 1,500.00 4,500.00

Lighting

E3 DETAILED DESIGN 50% ESTIMATE R1

	Unit	Qty	Rate	Cost
53 L1 - KKDC Duo Luna 7w/m LED strip lighting	m	41	400.00	16,400.00
54 L2 - KKDC Mimi Glow R010 20w/m LED strip lighting	m	8	500.00	4,000.00
55 P1 - Simes straight pole	No.	8	1,000.00	8,000.00
56 P2 - Meyer Nightspot Gobo Projector	No.	2	2,000.00	4,000.00
57 W1 - Iguzzini E201 11w LED Plaza	No.	7	1,000.00	7,000.00
<u>Drainage</u>				
58 Channel drain	m	14	1,000.00	14,000.00
59 Allowance for catch-pits	No.	2	3,000.00	6,000.00
60 Allowance for stormwater line	m	94	180.00	16,920.00
61 Allowance for stormwater manholes (Provisional Qty)	No.	2	8,000.00	16,000.00
<u>External Works and Landscaping</u>				
62 Allow for new 5 bay pergola structure, 100 x 9 SHS columns & beams with 12mm diameter rod bracing. 2.5m wide x 15.75m total length (final design & structure to be confirmed)	Item	1	40,000.00	40,000.00
63 M02 - Cable trellis system	m2	80	300.00	24,000.00
64 Basalt stone setts in Stone G3027 100x100x25mm deep with flamed finish, mortar with bedding depths 2-10mm with steintec tuffbond adhesion bonding mortar mixed to thicker consistency and bedding depths 10-40mm with steintec tuffbond 2-pack as per steintec specification, and grout with steintec tuffgrout (dark grey) as per steintec specification (P02)	m2	55	450.00	24,750.00
65 400 diam X 400H concrete planter, including planting	No.	11	1,600.00	17,600.00
66 600 diam X 900H concrete planter, including planting	No.	4	2,000.00	8,000.00
67 1050 diam X 600H concrete planter, including planting	No.	6	2,500.00	15,000.00
68 Allow for rectangular planter boxes spanning the length of the pergola	No.	30	350.00	10,500.00
69 Javelin RM-H 140 dia 316 grade stainless steel removable bollards with bead blast finish and spigot cast into and including concrete foundation (F13A)	No.	3	3,000.00	9,000.00
70 Upstand planters, including drainage, scoria, Waikato fleck & planting	m2	62	600.00	37,200.00
71 Small tree (TN)	No.	7	1,500.00	10,500.00
72 Drip line irrigation system	Item	1	12,000.00	12,000.00
73 General allowance for signage to Urban Plaza Area	Item	1	4,000.00	4,000.00

E3 DETAILED DESIGN 50% ESTIMATE R1

Power & communications

74 Allowance for power supply and IP rated DB board

75 Allowance for communications site connection point

On costs

Preliminary & General - 14%

Margin - 6%

Design & Estimating Contingency - 10%

TOTAL URBAN PLAZA & GREEN DISCOVERY ROOM \$

Unit	Qty	Rate	Cost
Item	1	20,000.00	20,000.00
Item	1	5,000.00	5,000.00
			129,840.00
			63,000.00
			111,000.00
			1,219,000.00

E3 DETAILED DESIGN 50% ESTIMATE R1

	Unit	Qty	Rate	Cost
<u>Hybrid Park Room</u>				
<u>Site Preparation</u>				
76	m2	952	15.00	14,280.00
150 to 300mm deep site top soil strip				
<u>Fittings and Fixtures</u>				
77	No.	3	1,500.00	4,500.00
450 high x 360 diameter concrete sculptural stool (F04)				
78	m	43	1,550.00	66,650.00
Approx. 600 wide concrete bleacher with purple heart timber insert slats and integrated painted steel plate backrest & armrest, F5 finish & light sandblast to concrete with seeded contrasting aggregate to top honed surface of bench (F05)				
79	m	10	1,700.00	17,000.00
Approx. 900 wide concrete bleacher with purple heart timber insert slats and integrated painted steel plate backrest & armrest, F5 finish & light sandblast to concrete with seeded contrasting aggregate to top honed surface of bench (F05)				
<u>Sanitary Plumbing</u>				
80	No.	2	1,000.00	2,000.00
Tap for irrigation & maintenance				
81	No.	1	5,000.00	5,000.00
Allowance for drinking fountain				
<u>Lighting</u>				
82	No.	6	4,000.00	24,000.00
B1 - Selux Olivio Poller Piccolo 19w LED				
83	m	19	600.00	11,400.00
H1 - Offspring Profiles Richie Rail 17 7w/m LED handrail light				
84	m	73	400.00	29,200.00
L1 - KKDC Duo Luna 7w/m LED strip lighting				
85	No.	4	1,000.00	4,000.00
W1 - Iguzzini E201 11w LED pole mounted				
<u>Drainage</u>				
86	m	9	1,000.00	9,000.00
Channel drain across entrance walkway				
87	No.	2	3,000.00	6,000.00
Allowance for catch-pits				
88	m	50	200.00	10,000.00
Allowance for stormwater line (Provisional Qty)				
89	m	140	90.00	12,600.00
Allowance for subsoil drainage (Provisional Qty)				
90	No.	2	8,000.00	16,000.00
Allowance for stormwater manholes (Provisional Qty)				
91	Sum	1	40,000.00	40,000.00
Allowance for rainwater garden and/or rockbore soakhole (Provisional Qty)				

E3 DETAILED DESIGN 50% ESTIMATE R1

	Unit	Qty	Rate	Cost
<u>External Works and Landscaping</u>				
CONCRETE RAMP + PATH:				
92 Concrete path with exposed aggregate finish (P01)	m2	24	410.00	9,840.00
93 316 grade stainless steel balustrade and handrail with bead blast finish	m	15	800.00	12,000.00
94 Allowance for tactile markers to concrete ramp in Hybrid Park area	No.	2	1,200.00	2,400.00
95 Allow for steel nib plate along single side of ramp	m	15	200.00	3,000.00
O'NEILL STREET ENTRANCE:				
96 Javelin RM-H 140 dia 316 grade stainless steel removable bollards with bead blast finish and spigot cast into and including concrete foundation (F13A)	No.	4	3,000.00	12,000.00
97 Allowance to protect existing hardscape on O'Neill street	item	1	2,000.00	2,000.00
GENERAL EXTERNAL WORKS & LANDSCAPING:				
98 Precast concrete step with F5 light sandblast finish (P05)	m	25	400.00	10,000.00
99 Tredfx SBR 103 aluminium stair nosing in natural anodized finish with black ribbed polymer inserts (P10)	m	33	100.00	3,300.00
100 316 grade stainless steel balustrade and handrail with bead blast finish	m	4	800.00	3,200.00
101 2000mm high timber fence on boundary	m	61	280.00	17,080.00
102 New concrete surface treatment allowance around transformer	m2	16	150.00	2,400.00
103 Small tree (TN)	No.	6	1,500.00	9,000.00
104 Large tree (TN)	No.	3	5,000.00	15,000.00
105 Planting (GB)	m2	402	150.00	60,300.00
106 Extra over for taking from store and relaying existing feature rocks within the garden beds for future re-use	Item	1	500.00	500.00
107 New Lawn allowance	m2	182	35.00	6,370.00
108 Basalt stone setts in Stone G3027 100x100x25mm deep with flamed finish, mortar with bedding depths 2-10mm with steintec tuffbond adhesion bonding mortar mixed to thicker consistency and bedding depths 10-40mm with steintec tuffbond 2-pack as per steintec specification, and grout with steintec tuffgrout (dark grey) as per steintec specification (P02)	m2	159	450.00	71,550.00
109 100 thick layer of Aggrok Watermark compacted bound aggregate (P03)	m2	65	200.00	13,000.00
110 Upstand planters, including drainage, scoria, Waikato fleck & planting	m2	63	600.00	37,800.00
111 Integrated timber seating, with mild steel sub-frame to upstand planters	m	31	800.00	24,800.00
112 General allowance for signage to Hybrid Park Area	Item	1	4,000.00	4,000.00

E3 DETAILED DESIGN 50% ESTIMATE R1

113 Provisional allowance for drip line irrigation system

Power & communications

114 Allowance for power supply and IP rated DB board

On costs

Preliminary & General - 14%

Margin - 6%

Design & Estimating Contingency - 10%

	Unit	Qty	Rate	Cost
113 Provisional allowance for drip line irrigation system	Item	1	10,000.00	10,000.00
<u>Power & communications</u>				
114 Allowance for power supply and IP rated DB board	Item	1	10,000.00	10,000.00
<u>On costs</u>				
Preliminary & General - 14%				86,830.00
Margin - 6%				42,000.00
Design & Estimating Contingency - 10%				74,000.00
TOTAL HYBRID PARK ROOM \$				814,000.00

E3 DETAILED DESIGN 50% ESTIMATE R1

Public Toilets

Substructure

115 Allow for new strip footings to receive proprietary public toilet system

Public toilet system

116 Allow to refurbish and re-use existing toilet block (Supplied by Auckland Council)

117 *Option: Approx. \$21,000 - \$27,850 additional cost for living roof structure with waterproofing membrane*

Services & infrastructure

118 Allowance to replace existing wastewater line if necessary

119 Allowance for wastewater manholes

120 Allowance for tying in to site stormwater system

121 Allowance for water supply to WC

122 Allowance for power connection for WC to site power DB

On costs

Preliminary & General - 14%

Margin - 6%

Design & Estimating Contingency - 10%

	Unit	Qty	Rate	Cost
115	Item	1	10,000.00	10,000.00
116	No.	1	150,000.00	150,000.00
117	Note			
118	m	27	250.00	6,750.00
119	No.	1	8,000.00	8,000.00
120	Item	1	2,000.00	2,000.00
121	Item	1	3,000.00	3,000.00
122	Item	1	2,000.00	2,000.00
				26,250.00
				13,000.00
				23,000.00
TOTAL PUBLIC TOILETS \$				244,000.00

E3 DETAILED DESIGN 50% ESTIMATE R1

	Unit	Qty	Rate	Cost
<u>Urban Canopy</u>				
<u>Foundations</u>				
123				
1000 x 750 x 300 deep RC foundation pad for blockwork plinths	No.	11	720.00	7,920.00
124				
1050 x 750 x 300 deep RC foundation pad for blockwork plinths	No.	2	760.00	1,520.00
125				
1450 x 750 x 300 deep RC foundation pad for blockwork plinths	No.	2	1,050.00	2,100.00
126				
1700 x 750 x 300 deep RC foundation pad for blockwork plinths	No.	4	1,225.00	4,900.00
127				
1800 x 750 x 300 deep RC foundation pad for blockwork plinths	No.	2	1,300.00	2,600.00
128				
600 deep RC foundation thickening to new portal legs, tied-on to existing foundation	No.	8	1,350.00	10,800.00
129				
250 series blockwork plinths to precast paving slabs etc, reinforced and solid filled	m2	12	480.00	5,760.00
<u>Frame</u>				
130				
300 UB or PFC portal legs fixed through flange to existing concrete columns, hot dip galvanized and paint finished	m	27	705.00	19,035.00
131				
300 UB or PFC portal beams, hot dip galvanized and paint finished	m	26	665.00	17,290.00
132				
Sandblast finish to existing columns (column sizing to remain)	m2	63	100.00	6,300.00
133				
12mm thick structural plywood on timber sub-frame	m2	122	200.00	24,400.00
<u>Timber Deck</u>				
134				
125 x 125 H4 treated timber piles 950 min. to 1300 max. long, set into 350 dia. x 700 deep concrete footing	No.	27	250.00	6,750.07
135				
190 x 45 H3.2 treated timber stringer bolted to concrete/blockwork	m	65	155.00	10,074.88
136				
2/190 x 45 H3.2 timber bearers	m	78	92.00	7,176.00
137				
190 x 45 H3.2 treated timber joists	m	388	52.00	20,176.00
138				
Lumberlok joist hangers	No.	322	12.00	3,864.00
139				
Lumberlok multigrips	No.	36	8.00	288.00
140				
138 x 45 (fin) selected hardwood decking	m2	212	285.00	60,420.00
141				
Allowance for stained finish to hardwood decking	m2	212	40.00	8,480.00
142				
<i>Option: Approx. \$25,000 saving for 100mm x 40mm Premium Pine decking Vs. selected hardwood</i>	Note			
<u>Precast concrete paving slabs etc</u>				

E3 DETAILED DESIGN 50% ESTIMATE R1

		Unit	Qty	Rate	Cost
143	400 wide x 140 thick precast concrete edge slabs epoxy adhered to blockwork foundation plinths	m	19	450.00	8,550.00
144	400 x 300 projection to 400 wide x 140 thick precast concrete edge slabs	No.	1	240.00	240.00
145	800 wide x 140 thick precast concrete edge slabs epoxy adhered to blockwork foundation plinths	m	43	735.00	31,605.00
146	350 wide x 140 thick precast concrete step tread slabs epoxy adhered to blockwork foundation plinths and concrete wear slab	m	33	405.00	13,365.00
147	8000 long x 1500 wide x 125 thick precast concrete ramp slab epoxy adhered to blockwork or concrete foundation plinths	No.	1	7,610.00	7,610.00
148	Extra over precast concrete ramp slab for 240 x 125 max. thick x 1500 wide thickenings at foundation plinth locations	No.	3	450.00	1,350.00
149	Extra over precast concrete ramp slab for 200 x 125 max. thick x 1500 wide thickenings at foundation plinth locations	No.	1	400.00	400.00
150	800 wide x 590 high L-shaped precast concrete bench seat epoxy adhered to blockwork foundation plinths	m	8	1,110.00	8,880.00
151	Allowance for tactile markers to concrete ramp and steps	m2	24	1,200.00	28,800.00
<u>Balustrades/Handrails</u>					
152	Allow for 900 high handrails in 50 x 20 316 stainless steel handrails with bead blasted finish to concrete steps and ramp. with uprights at 1225 centres (measured on plan)	m	25	650.00	16,250.00
<u>Roof & Fascia etc</u>					
153	New Metalcraft Metcom 7 zincalume trapezoidal full span roofing fixed over underlay to existing purlins	m2	328	145.00	47,560.00
154	Refurbish existing internal box gutter with new Colorsteel or butynol liners	m	30	375.00	11,250.00
155	New 100 dia. cast bronze 90 deg. outlet overflow roof drain with clamp ring	No.	4	275.00	1,100.00
156	New 90 dia. heavy gauge stainless steel downpipes fixed to face of concrete columns, including all bends & fittings	m	16	165.00	2,640.00
157	New 90 dia. uPVC downpipes below deck framing, including reticulation to water storage tank	m	25	120.00	3,000.00
158	90 x 45 H3.2 timber framed fascia/parapet, with Metalcraft Metcom 7 zincalume trapezoidal cladding on cavity battens and RAB board to external face	m2	75	390.00	29,250.00
159	Folded zincalume parapet cap flashing	m	84	180.00	15,120.00
160	Folded zincalume flashing to interior face of fascia/parapet framing, including apron flashing to junction with roofing/gutter	m	84	225.00	18,900.00
161	6 thick JH Hardiflex soffit linings fixed to and including Rondo type suspended grid system, paint finished	m2	134	195.00	26,130.00
162	6 thick JH Hardiflex vertical closer strip 180 high fixed to and including backing framing, paint finished	m	68	95.00	6,460.00

E3 DETAILED DESIGN 50% ESTIMATE R1

		Unit	Qty	Rate	Cost
163	42 x 42 Abodo Vulcan or similar hardwood soffit battens at 122 ccs fixed to and including Unistrut suspended grid system, including bird mesh fixed taught over the top of the soffit battens	m2	222	540.00	119,880.00
164	Allowance for fall arrest system including anchor points and continuous perimeter cabling	Item	1	15,000.00	15,000.00
<u>Fittings and Fixtures</u>					
165	Custom made web-forge screening panels	m2	54	850.00	45,900.00
166	Ponsonby Plaza' signage approx. 6m in length made from aluminium letters with opal acrylic face and cool white LED's inside	Item	1	20,000.00	20,000.00
<u>Lighting</u>					
167	D1 - Iguzzini ER87 2w LED ceiling recessed	No.	31	300.00	9,300.00
168	D1 - Iguzzini ER87 2w LED floor recessed	No.	24	600.00	14,400.00
169	D2 - We-ef DOC240-GB LED 21w recessed downlight	No.	11	500.00	5,500.00
170	H1 - Offspring Profiles Richie Rail 17 7w/m LED handrail light	m	17	600.00	10,200.00
171	L1 - KKDC Duo Luna 7w/m LED strip lighting	m	25	400.00	10,000.00
172	W2 - Hunza W/ARCS 11w LED wall mounted	No.	12	500.00	6,000.00
<u>Drainage</u>					
173	Channel drain beneath decking	m	28	1,000.00	28,000.00
174	Channel drain sump	No.	3	1,500.00	4,500.00
175	Allowance for tying downpipes & sumps into existing SW drainage system	Item	1	5,000.00	5,000.00
<u>External Works and Landscaping</u>					
176	Note: Concrete footpath & kerb along O'Neill street to remain, minor repairs allowed for in Demolition trade	Note			
177	Upstand planters, including planting fixed along canopy	m2	53	625.00	33,125.00
178	450 high x 360 diameter concrete sculptural stool	No.	4	1,500.00	6,000.00
179	Drip line irrigation system	Item	1	6,000.00	6,000.00
180	Water supply infrastructure and irrigation to planter boxes	Item	1	7,000.00	7,000.00
181	General allowance for signage to Urban Canopy Area	Item	1	4,000.00	4,000.00

E3 DETAILED DESIGN 50% ESTIMATE R1

Power & communications

- 182 Allowance for canopy DB including power supply
- 183 Note: CCTV cameras - Excluded
- 184 Note: PV solar system - Excluded

On costs

Preliminary & General - 14%

Margin - 6%

Design & Estimating Contingency - 10%

Traffic Management costs

- 185 Provisional sum for Traffic Management

On costs

Preliminary & General - 14%

Margin - 6%

Design & Estimating Contingency - 10%

	Unit	Qty	Rate	Cost
Item		1	5,000.00	5,000.00
Note				
Note				
TOTAL URBAN CANOPY \$				1,137,000.00
Sum		1	70,000.00	70,000.00
TOTAL TRAFFIC MANAGEMENT COSTS \$				94,000.00

E3 DETAILED DESIGN 50% ESTIMATE R1

	Unit	Qty	Rate	Cost	
<u>Water retention and re-use systems</u>					
<u>Water Retention Tank</u>					
186	Allowance for underground water retention tanks (allowing for 5m3)	m3	5	3,000.00	15,000.00
187	Allowance for filtration system for retained water	Item	1	10,000.00	10,000.00
188	Allowance for retained water pump system for reuse	Item	1	10,000.00	10,000.00
<u>On costs</u>					
	Preliminary & General - 14%				5,000.00
	Margin - 6%				3,000.00
	Design & Estimating Contingency - 10%				5,000.00
TOTAL WATER RETENTION AND RE-USE SYSTEMS \$					48,000.00
<u>Design & operation costs (Provided by Client)</u>					
189	Design & Operational costs	Item	1	750,000.00	750,000.00
TOTAL DESIGN & OPERATION COSTS (PROVIDED BY CLIENT) \$					750,000.00
<u>Work on O'Neill Street</u>					
190	Preliminary allowance for O'Neill street works	item	1	212,000.00	212,000.00
191	Preliminary allowance for O'Neill street traffic management costs	item	1	35,000.00	35,000.00
TOTAL WORK ON O'NEILL STREET \$					247,000.00

Ponsonby Plaza W/C Block Design Approach

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Look + Feel



Key Considerations_

- Authentic materiality specified. Anchors on cultural narrative - Rimu / timber trade expression
- Language of profiled timber connects back to canopy enhancements
- Form massing manipulation. Orthogonal form desirable in aligning with neighbouring plaza elements.



x2 bespoke steel fabricated signage elements with select paint finish fixed to toilet block

New 316 s.s door jambs/entry apertures protrude perpendicular off of ex. toilet structure.

iron corrugate roof to new storage enclosure details tbc.

5m2 secure storage room.
1m width x length to mirror toilet block.
Hinged door indicated as white dashed extent.

2600mm

42 x 42 profiled abodo timber battens fixed to toilet structure.

2675mm

Allow for relocation of door entrance control panels x2 to sit flush with new timber cladding

2250mm clear width



5550mm



Memorandum

1 February 2024

To: Waitemata Local Board

Subject: Quarter 2 Report Funding Reallocation Recommendations

From: Nick Palmisano, Local Board Advisor

Purpose

1. To provide funding reallocation recommendations to the Local Board in advance of the 20 February business meeting.

Context

1. During the preparation of Quarterly Reports which report on the financial and project performance of Local Boards, staff identify projects or programmes which have underspent during the course of their delivery, usually attributed to a cancellation, deferral, or change in circumstance.
2. In many cases, the cancellation of funded projects or programmes results in an underspend which then may be re-allocated by the Local Board at its discretion by a decision at a public business meeting.
3. Waitemata Local Board currently has two underspend amounts that it can consider for re-allocation via its Quarterly Report process, one from its Events Partnership Fund, managed by Connected Communities, and one from its Waste Away Programme managed by Infrastructure and Environmental Services.
4. Waitemata Local Board is also in receipt of filming revenue which it collects as a contribution from filming permits and related activities which occur on its parks, reserves, and public spaces. This revenue is attributed directly to the Local Board can be allocated to any project within the Local Board Work Programme. It is recommended to include a recommendation to allocate this funding via the Quarterly Report to ensure that additional allocations or re-allocations for the Financial Year are included together for transparency and accessibility purposes. Filming revenue must be spent within the year in which it was collected, in this case 2023/2024, otherwise it is lost.
5. The total underspend/revenue amount identified is \$35,500.
6. As underspend or additional revenue envelopes are identified, staff nominate or are asked to investigate whether projects or programmes within the department would benefit from additional funding in order to more efficiently deliver on a programme or service, or to enhance a project or programme to deliver increased value.
7. Not all projects or programmes can feasibly accommodate additional funding due to capacity or time constraints, so identified options are ones in which departments reasonably believe that additional funding would have a clear benefit for the delivery of a project before June 30, the end of the 2023/2024 Financial Year.
8. The recommendations for re-allocation are for existing projects and programmes within the Local Board work programme, not new line items, and are intended to further support the delivery of the existing work programme line.
9. Staff have identified three programme lines which may benefit from additional funding, and these are outlined below. These recommendations and options will be presented at the February 20 business meeting, and captured in the Quarter Two Report, to support the Local Board decision.

Discussion

1. The Local Board has a total current underspend/revenue of \$35,500 in the following programme lines:

ID/Ref	Work Programme Name	Activity Name	Current FY23/24 Allocation	Underspend/To be Allocated
739	Infrastructure & Environmental Services	Waste Away Programming	\$31,000	\$10,000 Due to limited contractor capacity to deliver programming, staff are refining the scope of the programme to match contractor capacity. This will be reflected in future budgets for next financial year to prevent underspend.
482	Customer and Community Services	Event Partnership Fund	\$90,000	\$7,500 Underspend remaining from previous reallocations resulting from the 21 November meeting (WTM/2023/106)
N/A	Filming Revenue	N/A	\$18,000	The Local Board collects filming revenue from film permits and related activities. This funding must be spent within the financial year in which it was collected, and can be allocated at the Local Board's decision.
TOTAL AMOUNT				\$35,500

1. Staff have identified three programme lines which may benefit from additional funding, and these are outlined below. These recommendations and options will be presented at the February 20 business meeting, and captured in the Quarter Two Report, to support the Local Board decision.

ID/Ref	Work Programme Name	Activity Name	Current FY23/24 Allocation	Advice on Reallocation	Additional Amount Requested
1354, 3862, 3863	External Partnerships Business Associations	Grey Lynn Business Association Stages 1, 2, 3	Stage 1 - \$5,000 Stage 2 - \$5000 Stage 3 - \$12000	GLBA BID establishment project requires additional funding to secure a resource for a minimum of 6 weeks but ideally 8 weeks leading up to, and during the ballot period. The resource will be engaged to manage the ballot campaign, update, and check voter details, monitor voting with focus on achieving the mandate and support the GLBA executive committee in communicating the benefits of BID	\$20,000 (preferred) \$15,000 (minimum viable support for ballot project)

				programme to prospective BID members.	
704	Infrastructure and Environmental Services	Waipapa Stream Restoration	\$20,000	Additional funding for the Waipapa Stream Restoration programme would deliver increased outreach and engagement with the community, including market day pop-ups, collaboration events with Ngati Whatua Orakei, and environmental DNA testing to monitor organism activity as an indicator of stream health	\$5,000-12,000 (preferred) Scalable to any additional amount allocated
702	Infrastructure and Environmental Services	Urban Ark Te Manawa Taiao	\$40,000	Increase staff hours to focus more time on community engagement through events, communications, predator monitoring and biodiversity monitoring.	\$5,000-15,000 (preferred) Scalable to any additional amount allocated
3057 (2021/2022 Work Programme)	Parks, Sports, & Recreation	Victoria Park Carpark Commuter Restrictions Investigation	N/A	Previously a project in the Local Board 2021/2022 Work Programme (WTM/2021/128), there are options for consideration regarding management and enforcement strategies for Victoria Park Carpark. Previously advised options on enforcement or paid parking implementation require additional funding for appropriate investigation and delivery of a design that can be presented to the Auckland Transport Traffic Control Committee. Staff from Parks, Sports, & Recreation will need to seek	\$8,000

TOTAL AMOUNT		direction from the Local Board on the proposed options for paid parking and enforcement in order to proceed with additional investigation and design.
		\$55,000 (at maximum request) \$33,000 (at minimum viable project)

Timeline

1. This information is being presented at the Local Board 7 February workshop.
2. This information will be provided in the Quarter 2 Financial Report presented to the Local Board 20 February business meeting.
3. Decisions made on re-allocation will occur at this meeting, and staff will operationalise any additional funding for respective projects before the end of the current 2023/2024 Financial Year.

Next steps

1. This information forms part of a workshop discussion on Wednesday 7 February on the options for budget reallocation, in which staff from the respective teams will be present to answer any subject-matter questions.
2. This information will be included in the 20 February business meeting Quarter 2 Report for the board to consider in its decision making on reallocations.

Attachments

- [Victoria Park Carpark Memo – Parks, Sports & Recreation](#)
- [BID Liaison Team Memo – Grey Lynn Business Association](#)

5 July 2022

Memorandum

To: Waitematā Local Board

Subject: Victoria Park – parking accessibility and enforcement issues

From: Jacqui Fell, Parks and Places Specialist

Contact information: jacqui.fell@aucklandcouncil.govt.nz

Purpose

1. To seek direction from the Waitematā Local Board on proposed options and an agreed approach to address parking accessibility issues at Victoria Park.

Summary

2. Commuter and business parking at Victoria Park is preventing legitimate users of the park from accessing the open space and facilities.
3. Commuter use regularly pushes carpark occupancy rates at Victoria Park to levels exceeding 85%; this prohibits parking for genuine park visitors.
4. Auckland Council can delegate authority to Auckland Transport (AT) to enforce parking restrictions on parks.
5. Staff are seeking direction from the elected members on the four proposed parking restriction options:
 - Option 1 – maintain status quo which incurs no cost but will not resolve the commuter parking issue for park visitors and leaves signed restrictions unenforceable.
 - Option 2 – enable enforcement of current parking restrictions by funding the installation of new signage and line markings.
 - Option 3 – upgrade car park B to improve the user experience and capacity levels, with associated signage and line marking improvements to ensure board approved restrictions are enforceable across both public car parks.
 - Option 4 – introduce paid parking with associated sign and line marking improvements to ensure charges / restrictions are enforceable across both public car parks. This option is best realised by carrying out the upgrade to car park B as set out in Option 3.
6. For parking restrictions to be enforceable, Auckland Transport (AT) approval is required and staff will need to consult with AT on the Waitematā Local Board's preferred option(s).

Context

7. The investigation into carpark management and enforcement strategies for Victoria Park is an approved project in the Waitematā Local Board's Customer and Community Services FY2021/2022 work programme (*Sharepoint ID 3057 / resolution number WTM/2021/128*). The Parks and Places Specialist is leading this investigation and the local board allocated \$4,400 in funding for this work.

8. In November 2021 Community Facilities (CF) completed the renewal and upgrade of the Victoria Park shared path and carpark accessed via Halsey Street. Upon the project's completion, staff intention was to proceed with the investigation of commuter parking and visitor use of the carpark.
9. Due to the Covid-19 restrictions introduced in January 2022, car park investigations were delayed.
10. In April 2022, staff engaged a traffic design consultant to consult with Auckland Transport on the alignment of onsite parking restrictions with AT regulations and previous AT Traffic Control Committee resolutions.
11. The site visit in April 2022 confirmed that two carparks were primarily being used by commuters and that signage was not a deterrent to this misuse of parking. The visit also confirmed that signage was not compliant with AT standards.
12. The current parking situation does not provide for a good visitor experience at Victoria Park and does not align with AT's parking strategy for the surrounding area. Both elected members and members of the public have complained about the lack of parking for visitors, as well as vehicles parking outside the designated spaces and on grassed areas.
13. The investigation into strategies to address these parking issues will provide the local board with options to improve parking turnover and park visitor access.

Discussion

14. It has long been acknowledged that the carparks within Victoria Park are not serving their intended purpose which is to enable access for visitors and users of the park. Instead, the carparks are predominantly used for long-term parking by commuters during the business week.
15. Victoria Park has three carparks, two of which are intended for use by visitors to the park. The third is primarily designated for service vehicle use. Parking restrictions vary across each of the carparks. Figure 1 shows the location of the carparks.



Figure 1: Victoria Park Carparks

16. Carpark A, adjacent to Fanshawe Street and accessed via Halsey Street, has a time restriction of P120 8:00 am to 6:00 pm, Monday to Sunday. This is the only carpark within the park that is situated on council-owned land.
17. Carpark A, which was recently reconfigured as part of the CF upgrade work to the carpark and shared path, is set up as a linear parking area. The carpark provides approximately 30 spaces, including two pick-up and drop-off spaces and one mobility parking space. The existing signage for the carpark is not compliant with AT standards and the parking restrictions are not currently enforceable.



Figure 2 and 3: Victoria Park Carpark A

18. Both commuter use and weekend visitor use of Carpark A negatively impact on occupancy rates, making it difficult for visitors to access Victoria Park.
19. Carparks B and C occupy land held by the Crown under the Public Works Act 1981 for motorway purposes, on behalf of Waka Kotahi. Auckland Council has been granted a licence to occupy these areas.
20. Carpark B, the Victoria Park Flyover Carpark, is accessed via Beaumont Street and has a time restriction of P180 8:00 am to 6:00 pm, Monday to Friday. The surface is not paved and there are no line markings.
21. The “No Stopping At All Times (NSAAT) road markings on the accessway to the carpark have faded, and subsequently vehicles are parked along the accessway.
22. Carpark C, adjacent to Victoria Street West, is primarily used by service vehicles and signage indicates that parking is not permitted and that vehicles will be towed. The paved area is equipped with bollards to restrict visitors from parking in this area.

Key Findings

23. Staff's initial investigation into the parking restrictions at each of these carparks sought clarity on whether the carparks had been resolved through the AT Traffic Control Committee (TCC). The only carpark confirmed to have been resolved by TCC is Carpark B.
24. In June 2019, the Waka Kotahi Traffic Control Devices (TCD) manual, which provides guidance on industry practice and sets out the functions and responsibilities of road controlling authorities in providing traffic control devices, was amended. The 2019 amendment states “**change the operation of parking zone controls so that road controlling authorities can use the mechanism for areas such as carparks, provided it will be clear to persons using vehicles that the parking control applies**”.

25. Subsequent to this amendment, AT has not enforced the parking restriction at Carpark B due to the fact that “**zone parking for carparks**” was not included in the rules of the original resolution. A new resolution with AT’s TCC is required to enable enforcement.
26. If parking enforcement is to be realised across the entire park, all three parking areas will need to be resolved through the TCC and signage will need to be replaced in some areas.

Proposed Options

27. Staff have considered a number of options to propose for the management and enforcement of the carparks in Victoria Park. **Option 1** is to maintain the status quo, which incurs no additional expense, but does not provide the desired experience for recreational visitors to the park.
28. **Option 2** is to resolve the carparks with the existing parking controls as noted below:
 - Carpark A (linear parking): update signage to be compliant with current standards including adding two new signs to meet linear parking requirements and adding time restrictions to the mobility parking and pickup and drop off signage.
 - Carpark B (zone parking): provide NSAAT road marking on the accessway and add signage in the carpark area to increase visibility for visitors.
 - Carpark C (NSAAT and tow away): install regulatory signage for no parking.
29. **Option 3** proposes amending and resolving the parking controls as follows and includes a significant upgrade of Carpark B:
 - Carpark A: change one pickup and drop off space to an additional mobility parking space, as there should be at least two mobility parking spaces for Victoria Park. The other pickup and drop off space should change to a loading zone.
 - Carpark B: convert to linear parking and pave the surface and provide line marking. This would increase capacity and use levels of Carpark B.
 - Carpark C: install planter boxes to ensure no parking and enhance the area which is an additional accessway into Victoria Park.
30. **Option 4** introduces paid parking of graduated tariffs to align with AT’s parking strategy for the surrounding streets from 8:00 am to 6:00 pm. The following tables provide information on the graduated tariff currently in place for the area:

Auckland Transport Zone 3 – on streets Victoria St West and Halsey Road

Days & Time of Operation	0 – 2 Hrs (First 2 hours)	2+ Hrs (After the first 2Hours)
Mon – Friday 8am – 6pm	\$3.00 per hour	\$6.00 per hour
Saturday 8am - 6pm	\$1.50 per hour	\$3.00 per hour
Sunday (All Day)	\$0 (Free of charge)	\$0 (Free of charge)

Auckland Transport Zone 2 – on Fanshawe St

Days & Time of Operation	0 – 2 Hrs (First 2 hours)	2+ Hrs (After the first 2Hours)
Mon – Friday 8am – 6pm	\$3.50 per hour	\$7.00 per hour
Saturday 8am - 6pm	\$1.50 per hour	\$3.00 per hour
Sunday (All Day)	\$0 (Free of charge)	\$0 (Free of charge)

31. A paid parking strategy could allow for a grace period to allow visitors access to the park for a short period of time.
32. Auckland Council can delegate authority to AT to enforce parking restrictions on parks. Enforcement is considered by AT for carparks with an occupancy rate of 85% or above

(Auckland Transport Parking Strategy 2015). The current occupancy rate at Victoria Park during weekdays and weekends generally exceeds this rate.

33. In order to delegate authority to AT for parking enforcement on parks and reserves, the following is required:
 - confirmation of occupancy rates
 - a carpark concept plan that ensures the layout and signage meet AT standards and allows for legally enforceable restrictions to be imposed
 - local board agreement for proposed tariffs, timing and length of restriction and approval for enforcement by AT
 - approval from the AT TCC
 - delivery of the approved carpark layout design including line marking and signage.
34. If the local board supports establishing parking restrictions and enforcement, additional funding will be required to ensure that the above can be delivered. The funding requirement for Option 3 and 4 will be more significant than Option 2.
35. Staff will consult with AT on parking control recommendations proposed by the local board to ensure parking restrictions are enforceable.
36. If the local board direction is to further explore the option for paid parking, staff will seek clarity from AT on forecasted revenue generated by paid parking, which can in turn be used for the ongoing maintenance of the carparks.
37. The local board may also want to consider consultation with park stakeholders. Grafton Cricket previously provided feedback on the Carpark A renewal and upgrade.

Next steps

38. Staff will take direction from the local board as to which of the proposed options should be progressed. If the elected members request staff to pursue AT resolution of the carparks and a paid parking approach, further funding will be required. In the interim, staff will liaise with the consultant and provide the local board with a deliverable timeframe for the preferred option(s) and an estimated budget to deliver.

Attachments

No attachments

Memorandum

19 December 2023

To: Waitemata Local Board
Subject: Grey Lynn Business Association – Additional funding request
From: Claire Siddens, Principal Advisor (BIDs)

Purpose

1. To provide an update on Grey Lynn Business Association BID establishment project and seek additional funding to fund a resource to support the ballot process and period.

Context

2. Grey Lynn Business Association (GLBA) are working with Auckland Councils BID Team to progress the establishment of a new Business Improvement District (BID) programme for the Grey Lynn business community. The project is progressing with a schedule of activity as required under the Auckland Council BID Policy including holding a BID ballot in August/September 2024.
3. The GLBA executive committee are volunteers. This next phase of the work towards BID status will require focused skills to project manage the BID establishment.
4. GLBAs potential to achieve a successful ballot will be substantially enhanced by additional resourcing, focused particularly on:
 - a. project management of the establishment work streams
 - b. 'real-time' communications with GLBA committee for fast decision making
 - c. focused engagement with individual business owners and landlords who are eligible to vote in the ballot. The goal is to engage with every voter (approximately 600), preferably face to face.

Discussion

Mission Critical

5. Individual GLBA committee members may have some of these skills, but as volunteers they are also focused on their own businesses. A BID establishment process requires a dedicated focus, particularly during these months in and around the BID ballot that are 'mission critical' to BID establishment.
6. GLBA is following the Auckland Council BID Policy document to ensure their BID establishment project achieves the required ballot mandate of 25% of returned votes with 51% of returned votes in favour of the proposal.
7. The ballot will ask the eligible voters (prospective BID members) to confirm their support for a GL BID programme and associated BID targeted rate to be struck from 1 July 2025.
8. The ballot will be conducted by an independent election service provider, like the local government election process. The BID ballot period is 4 weeks.

2023/2024 Waitemata Local Board work programme

9. The local board have provided funding over the past financial years including an allocation as per their 2023/2024 work programme of:
 - \$5000 – to assist with GLBA administration – milestone: 100+ financial members

- \$5000 – to assist with BID establishment and engagement collateral
 - \$12,000 – to cover the cost of the independent election service provider and ballot costs.
10. This funding is part of a bigger picture of funding provided by the board over the past years to show its support for GLBA to develop towards BID status.
 11. However, there are concerns from some local board members, and the BID Team, relating to GLBA not having sufficient funding or resources to complete the BID establishment project to a successful end. The voluntary nature of the GLBA executive committee coupled with there being little to no other income available to contribute to the project to see GLBA through the critical BID ballot period.
 12. With the project reaching this critical ballot stage, it would be a shame not to maximise past local board investment and consider providing some additional funding to obtain a resource focused on supporting the best possible outcome for the BID ballot result in August/September 2024.

Additional funding request

13. GLBA BID establishment project requires additional funding to secure a resource for a minimum of 6 weeks but ideally 8 weeks leading up to, and during the ballot period. The resource will be engaged to manage the ballot campaign, update, and check voter details, monitor voting with focus on achieving the mandate and support the GLBA executive committee in communicating the benefits of BID programme to prospective BID members. The resource will also assist with distributing and sharing information on the benefits of new BID programme and engagement with eligible voters to encourage voting.
14. The additional funding will be managed via the council BID Team who will secure the appropriate and experienced resource. This resource will work with GLBA executive committee to complete the BID establishment project and ballot.

Preferred funding:

Option 1: \$20,000 - To secure a resource to provide:

- 4 weeks working part time during the lead up to the ballot period. (\$4,900)
- 4 weeks working full time during the ballot period (\$14,700)
- 4-6 hours to assist the GLBA executive committee to write and complete the post BID establishment report (\$300)
- 2 hours to attend an assist the presentation at the GLBA AGM or Special General Meeting (October 2024) (\$100)

Option 2: \$15,000 – To secure a resource to provide:

- 4 weeks working full time during the ballot period (\$14,700)
- 4-6 hours to assist the GLBA executive committee to write and complete the post BID establishment report (\$300)

Next steps

15. The above information forms part of a workshop on Wednesday 7 February and a discussion on the options for budget reallocation.